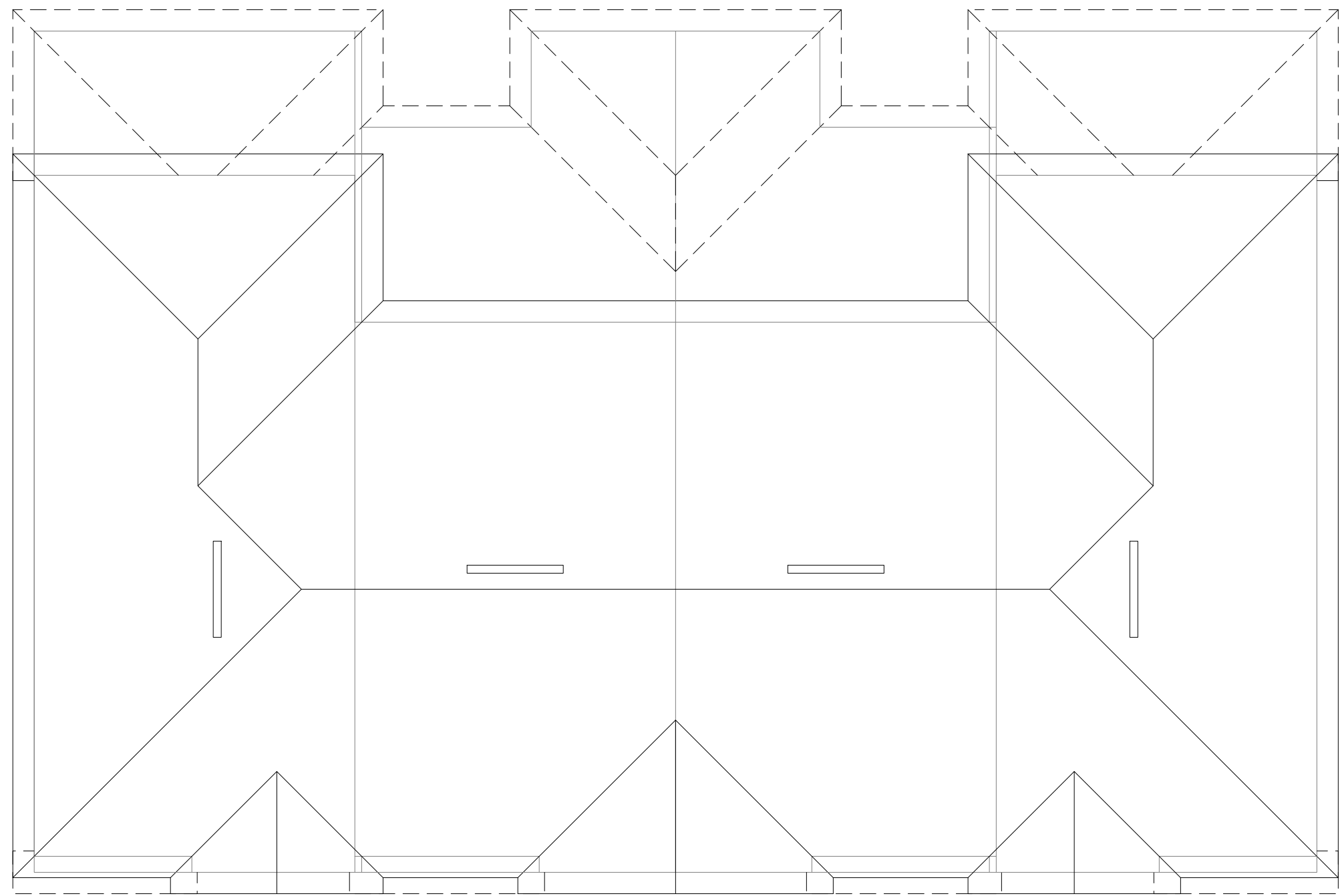
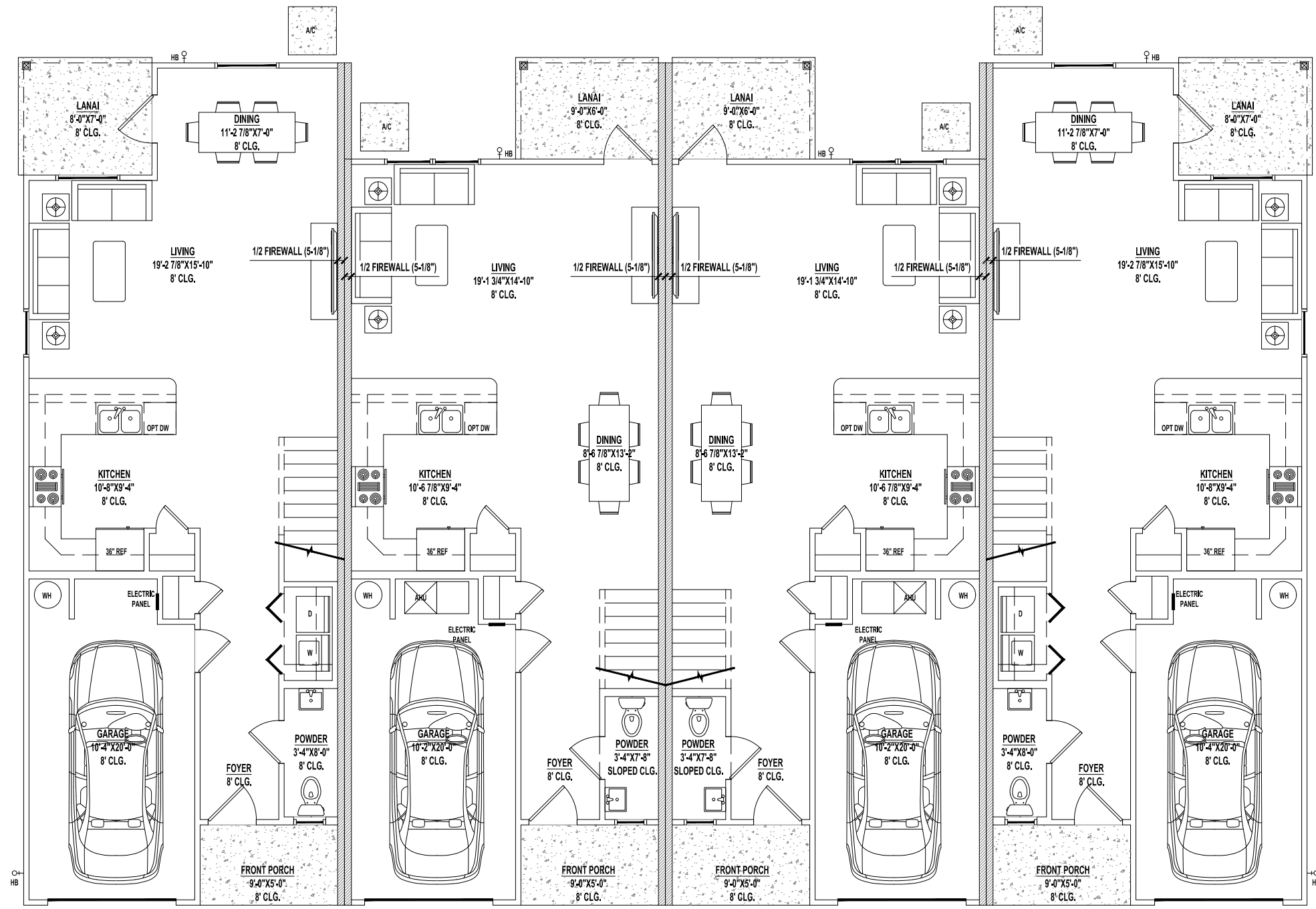




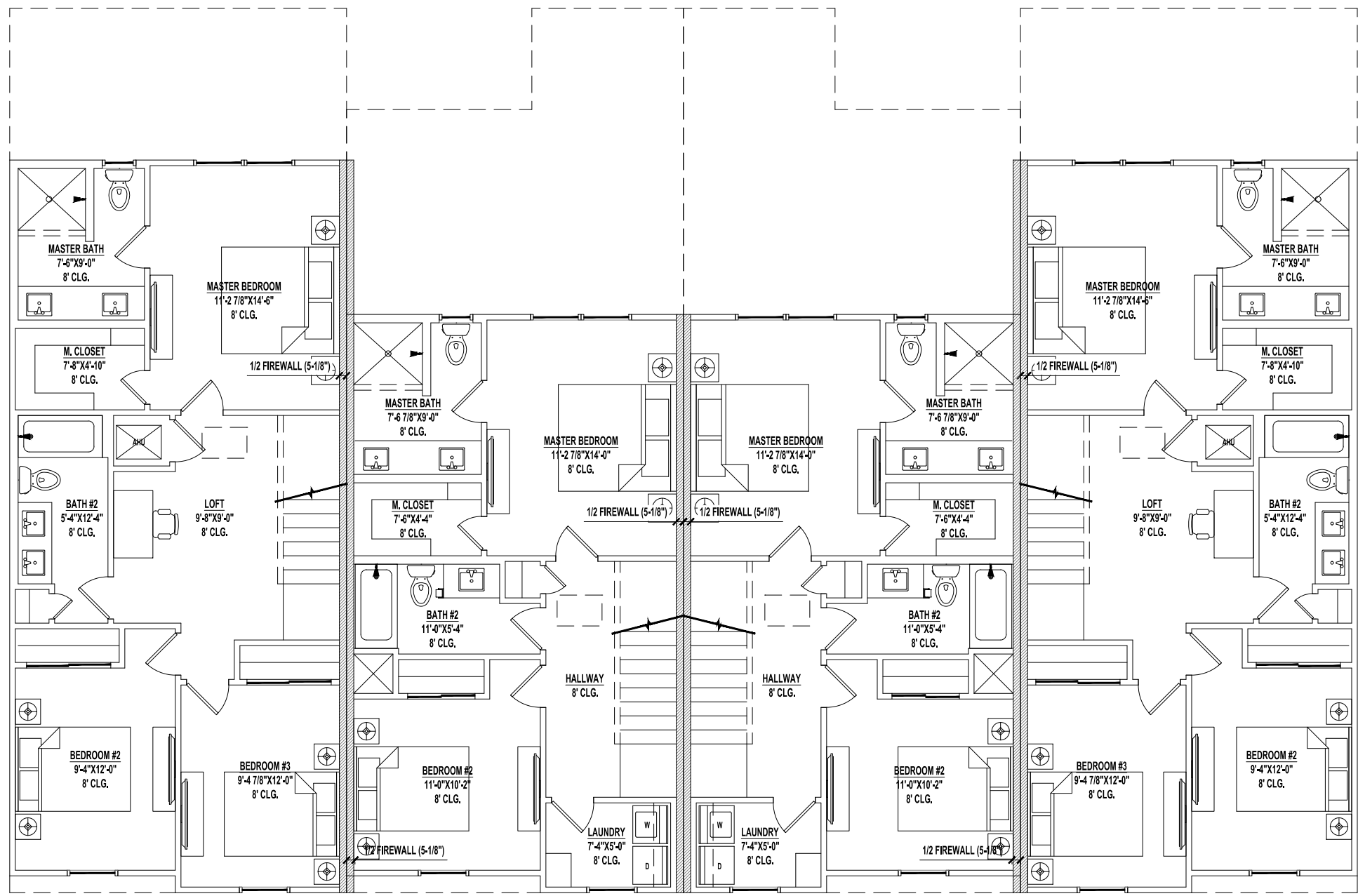
1 ROOF
A0.0 SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION
A0.0 SCALE: 3/16" = 1'-0"



3 FIRST FLOOR
A0.0 SCALE: 1/8" = 1'-0"



4 SECOND FLOOR
A0.0 SCALE: 1/8" = 1'-0"

2023 FLORIDA BUILDING CODE:

- SLEEPING ROOMS HAVE ADEQUATE WINDOW SIZE AND PROPER LOCATION FOR ESCAPE & RESCUE FBC R310
- ONE BATHROOM WITH A 29" MINIMUM CLEAR ACCESS, ON THE LOWER FLOOR. FBC R320
- HAZARDOUS GLASS LOCATIONS INDICATED. FBC R308.4
- ATTIC ACCESS LOCATED WITH OPENING DIMENSIONS FBC R807.
- PROVIDE PROTECTION FROM IMPACT IN GARAGES FOR DUCTWORK & APPLIANCES. FBC M1307, FBC MECHANICAL 603.15, FBC FUEL GAS 303.4
- STAIR CONSTRUCTION DETAILS INDICATE PROPER TREAD/RISER REALTIONSHIP, HANDRAIL LOCATION, HANDRAIL/GUARDRAIL HTS., & MINIMUM OPEN RAIL SPACING INDICATED. FBC 311.7, R312.1
- FLASHING DETAILS @ EXTERIOR WINDOW/DOOR OPENINGS, INTERSECTIONS W/ CHIMNEY/MASONRY/ETC, PROJECTING WOOD TRIM, EXTERIOR DECKS/PORCHES/STAIRS, WALL/ROOF INTERSECTIONS, VENEERS , ETC. FBC BUILDING 107.2.4, FBC R703.4
- SMOKE DETECTOTS & CARBON MONOXIDE DETECTORS(IF APPLICABLE) LOCATED FBS R314 R315
- PROVIDE ROOF VENTILATION CALCULATION, FBC R806
- PROVIDE DETAILS FOR DWELLING-GARAGE OPENING AND PENETRATION PROTECTION; PROVIDE DETAILS FOR DWELLING-GARAGE FIRE SEPARATION. FBC R302.5, R302.6
- PROVIDE LOCATION OF ALL REQUIRED GFIAFI AND WATERPROOF RECEPTACLE. FBC R3901, E4002
- ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT FBC ENERGY CONSERVATION
- LOCATION OF REQUIRED VENTING FOR ALL FUEL BURNING APPLIANCES, INCLUDING FIREPLACES. FB CHAPTER 24

END UNIT AREAS

1ST FLOOR HEATED AREA	732 SF
2ND FLOOR HEATED AREA	807 SF
TOTAL HEATED AREA	1,539 SF
GARAGE	217 SF
FRONT PORCH	45 SF
LANAI	56 SF
TOTAL UNDER ROOF	1,857 SF

CONDITIONED SPACE = 12,312 CF

MIDDLE UNIT AREAS

1ST FLOOR HEATED AREA	668 SF
2ND FLOOR HEATED AREA	650 SF
TOTAL HEATED AREA	1,318 SF
GARAGE	217 SF
FRONT PORCH	45 SF
LANAI	54 SF
TOTAL UNDER ROOF	1,634 SF

CONDITIONED SPACE = 11,862 CF

NOTE:
A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE PRIOR TO FRAMING INSPECTION.

DRAWING INDEX

SHEET NUMBER	SHEET NAME
A0.0	OVERVIEW 4 PLEX
A1.1	OVERALL 1ST PLAN
A1.2	OVERALL 2ND PLAN
A1.3	FOUNDATION PLAN
A1.4	ROOF PLAN
A1.5	FLOOR PLANS
A1.6	ELECTRIC PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	DETAILS

CODE INFORMATION

BUILDING CODE:	2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION
	2023 FLORIDA BUILDING CODE PLUMBING
	2023 FLORIDA BUILDING CODE MECHANICAL
	2020 NEC

CONSTRUCTION TYPE:	SB
OCCUPANCY CLASS:	R-3

Drafting Firm:

Building Authority:

By

Description

Rev Date

LAKE LENA

Lake Lena Fr 4plex 2ST 3&2BD
2.5BA 1G

A Project For:

Southern Impression
Homes

10151 Deerwood Park Blvd,
Building 400, Suite 300,
Jacksonville, FL 32256

Sheet Description

A0.0 -
OVERVIEW
4 Plex

Drawn by:

RKL

Issued Date:

7/29/25

Printed Date:

9/10/25

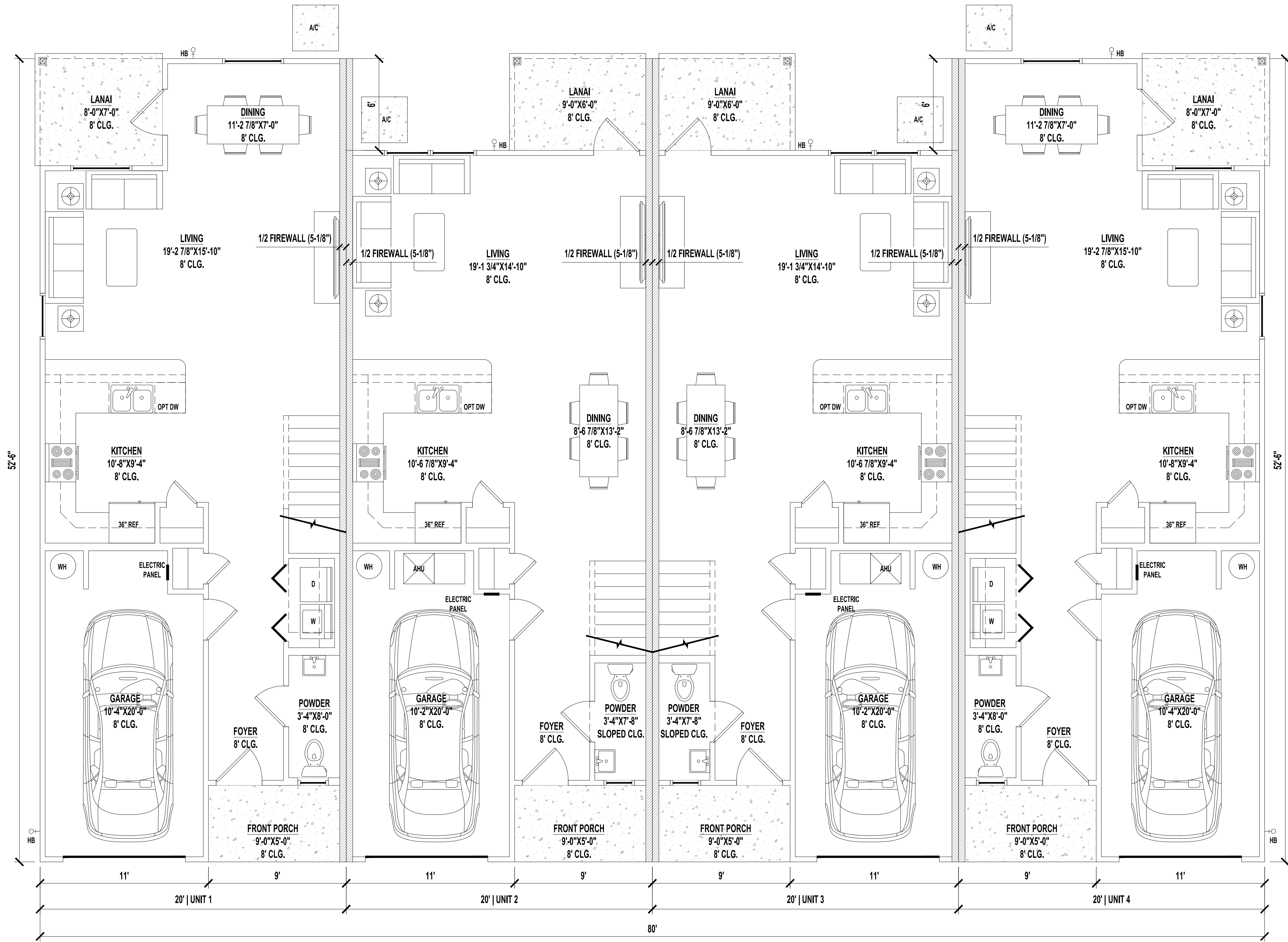
Checked by:

CG

Scale (U.N.O.):

Sheet Number

of



1 OVERALL 1ST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

END UNIT AREAS	
1ST FLOOR HEATED AREA	732 SF
2ND FLOOR HEATED AREA	807 SF
TOTAL HEATED AREA	1,539 SF
GARAGE	217 SF
FRONT PORCH	45 SF
LANAI	56 SF
TOTAL UNDER ROOF	1,857 SF

CONDITIONED SPACE = 12,312 CF

MIDDLE UNIT AREAS	
1ST FLOOR HEATED AREA	668 SF
2ND FLOOR HEATED AREA	650 SF
TOTAL HEATED AREA	1,318 SF
GARAGE	217 SF
FRONT PORCH	45 SF
LANAI	54 SF
TOTAL UNDER ROOF	1,634 SF

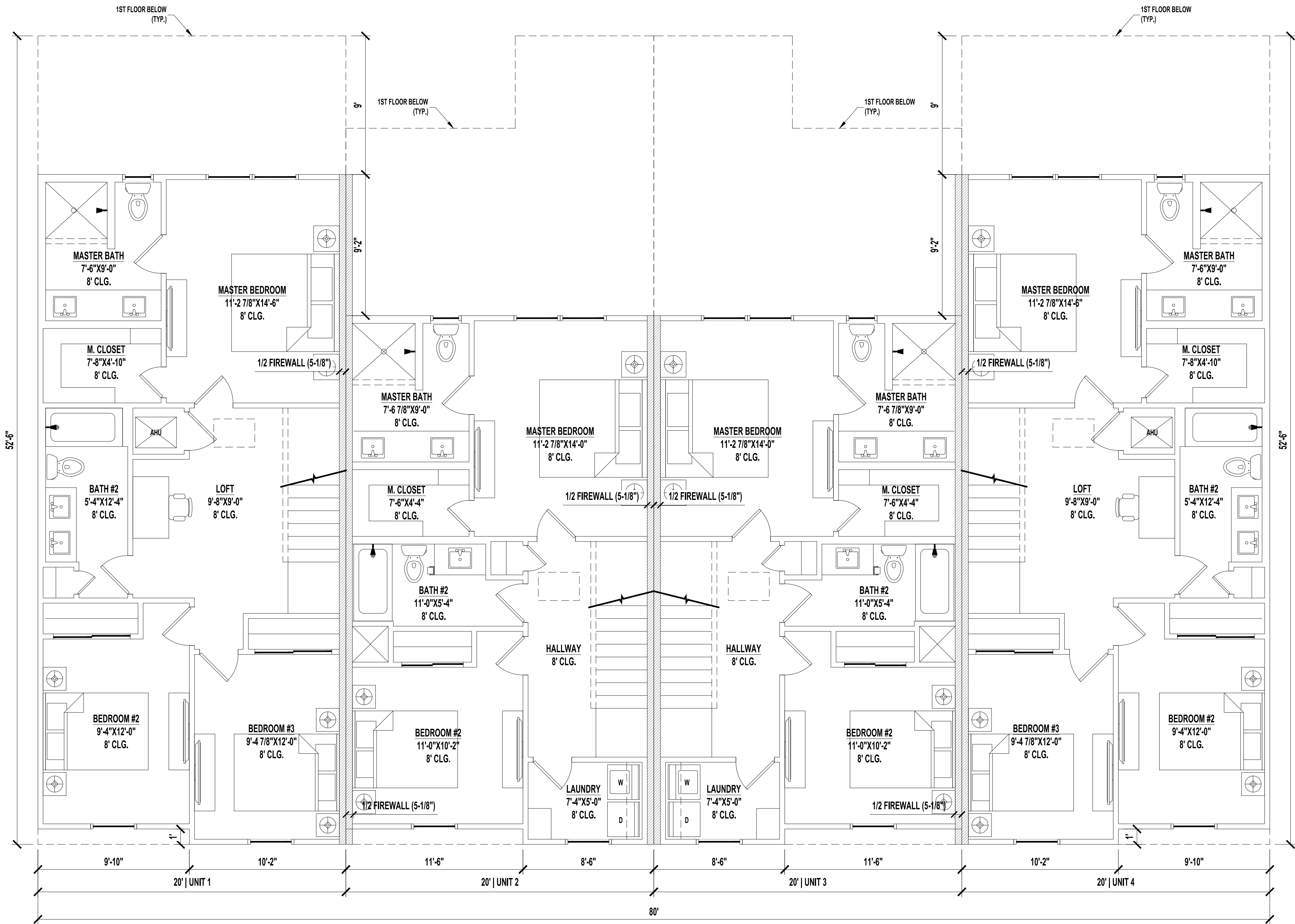
CONDITIONED SPACE = 11,862 CF

NOTES:

- IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
- PROVIDE TEMPERED GLASS AS REQUIRED.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS.
- PROVIDE DOUBLE LAYER FIRE RATED PLYWOOD FOR FRONT PORCH CEILINGS PER UL ER7002-01.
- REFER TO DETAIL U314 FOR EXTERIOR GARAGE SIDE WALLS ON 1ST AND 2ND FLOOR.

TABLE R302.6: DWELLING-GARAGE SEPARATION

SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALL THAT ARE WITHIN THIS AREA



1 OVERALL 2ND FLOOR
A1.2 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. PARKING BUMPER(IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
2. 5/8" TYPE "X" GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAL SAPACE IS ABOVE PER FBC R302.6
3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5
4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

GUARDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.
HEIGHT SHALL BE 36"MIN. WHEN PORCH, BALCONY OR RISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE ANS SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.
OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

HANDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.8 FOR HANDRAIL CONTINUITY AND SIZE.
HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.
CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.
SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4" - 2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

STAIR NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.
*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER.
TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD: THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".
*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

NOTES:
2X4 EXTERIOR WALL
16" OVERHANG U.O.N.

LEGEND	
SYMBOL	DESCRIPTION
	EXTERIOR 2"x4" WOOD FRAME WALL
	2"x6" WOOD FRAME WALL
	FIREWALL

A Project For:

Southern Impression
Homes

10151 Deerwood Park Blvd,
Building 400, Suite 300,
Jacksonville, FL 32256

Sheet Description

A1.2 -
OVERALL 2ND
FLOOR 4 Plex

Drawn by:

RKL

Issued Date:

7/29/25

Printed Date:

9/10/25

Checked by:

CG

Scale (U.N.O.):

Sheet Number

of

Description

By

Drafting Firm:

Building Authority:

LAKE LENA
Lake Lena Fr 4plex 2ST 3&2BD
2.5BA 1G