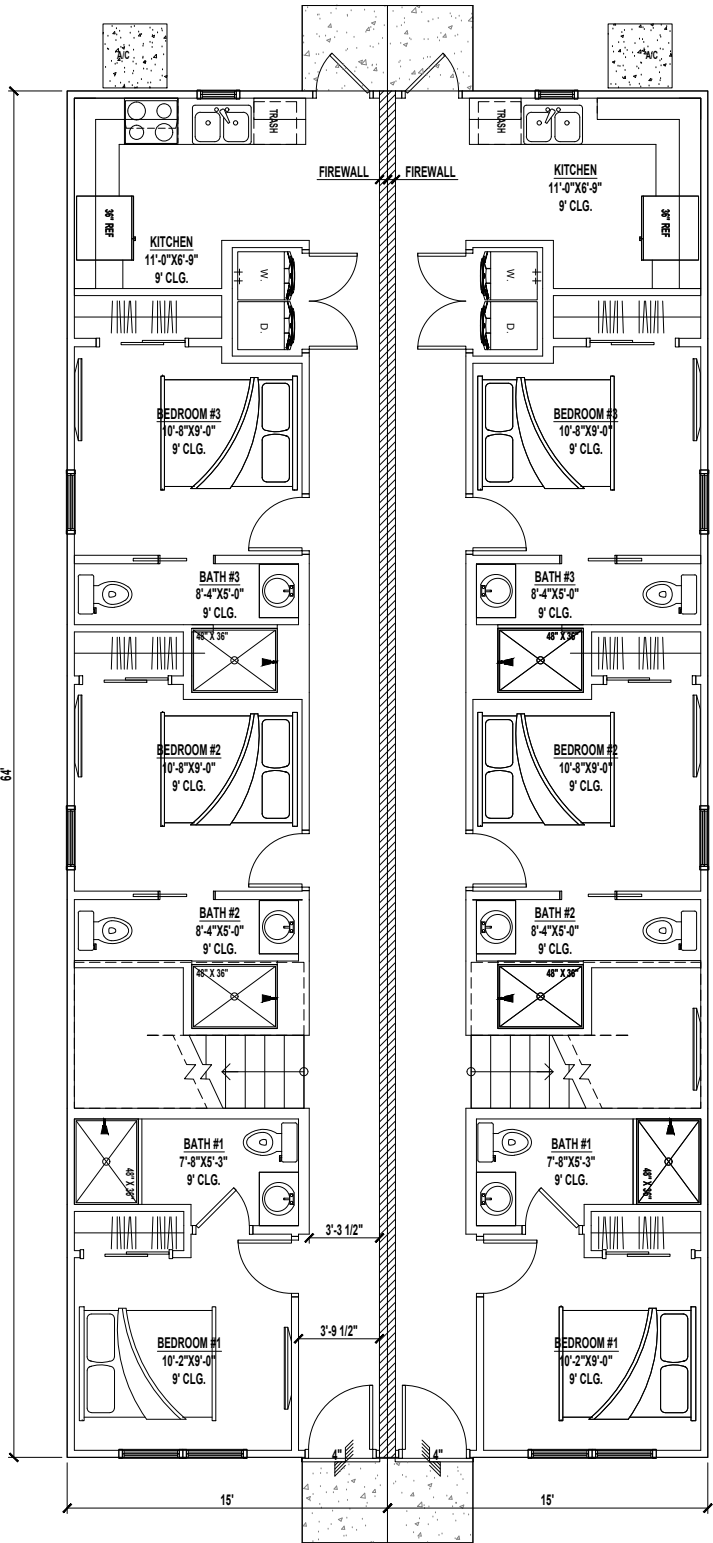
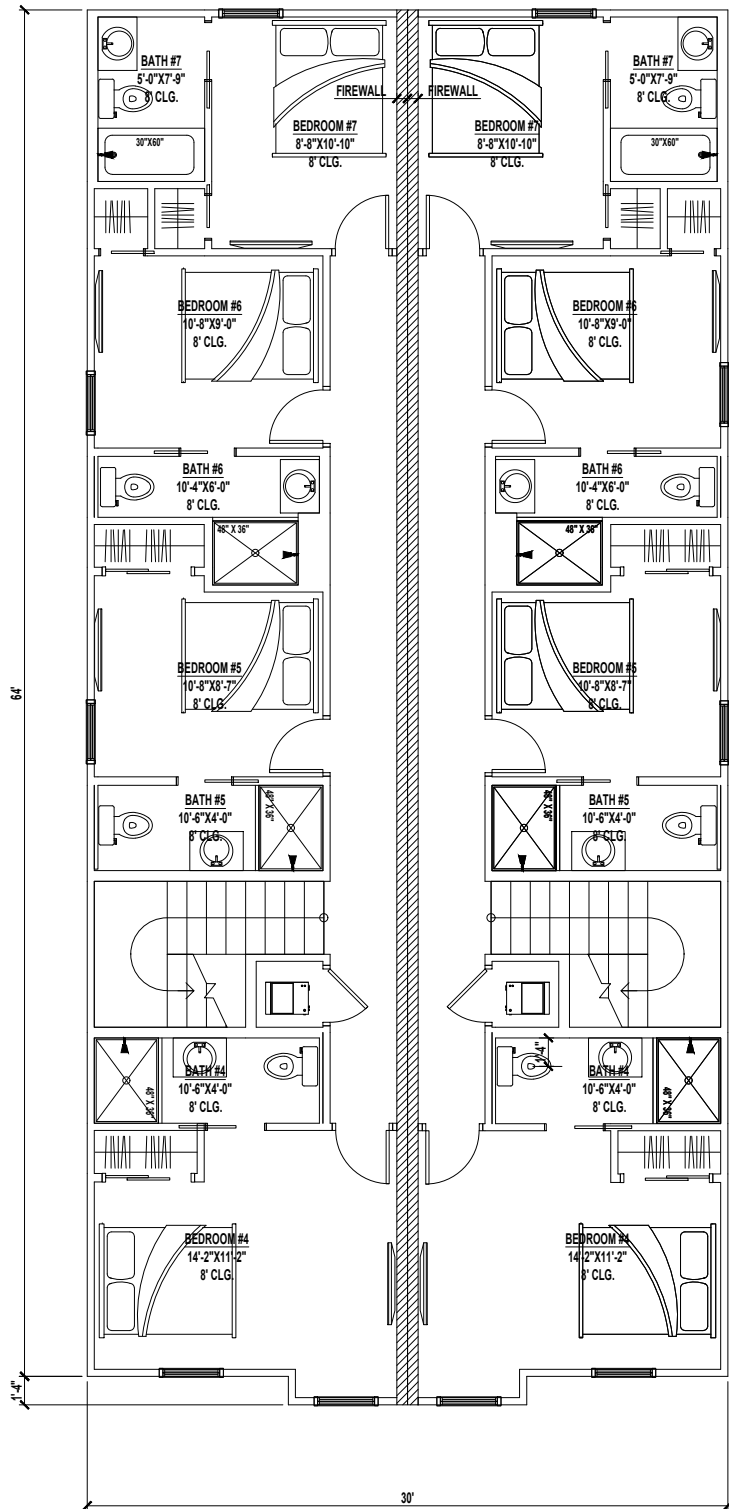


2023 FLORIDA BUILDING CODE:

1. SLEEPING ROOMS HAVE ADEQUATE WINDOW SIZE AND PROPER LOCATION FOR ESCAPE & RESCUE FBC R310
2. ONE BATHROOM WITH A 29" MINIMUM CLEAR ACCESS, ON THE LOWER FLOOR. FBC R302
3. HAZARDOUS GLASS LOCATIONS INDICATED. FBC R308.4
4. ATTIC ACCESS LOCATED WITH OPENING DIMENSIONS FBC R807.
5. PROVIDE PROTECTION FROM IMPACT IN GARAGES FOR DUCTWORK & APPLIANCES. FBC M1307, FBC MECHANICAL 603.15, FBC FUEL GAS 303.4
6. STAIR CONSTRUCTION DETAILS INDICATE PROPER TREAD/RISER REALTIONSHIP, HANDRAIL LOCATION, HANDRAIL/GUARDRAIL HTS., & MINIMUM OPEN RAIL SPACING INDICATED. FBC 311.7, R312.1
7. FLASHING DETAILS @ EXTERIOR WINDOW/DOOR OPENINGS, INTERSECTIONS W/ CHIMNEY/MASONRY/ETC, PROJECTING WOOD TRIM, EXTERIOR DECKS/PORCHES/STAIRS, WALL/ROOF INTERSECTIONS, VENEERS , ETC. FBC BUILDING 107.2.4, FBC R703.4
8. SMOKE DETECTOTS & CARBON MONOXIDE DETECTORS(IF APPLICABLE) LOCATED FBS R314 R315
9. PROVIDE ROOF VENTILATION CALCULATION. FBC R806
10. PROVIDE DETAILS FOR DWELLING-GARAGE OPENING AND PENETRATION PROTECTION; PROVIDE DETAILS FOR DWELLING-GARAGE FIRE SEPARATION. FBC R302.5, R302.6
11. PROVIDE LOCATION OF ALL REQUIRED GFIAFI AND WATERPROOF RECEPTACLE. FBC R3001, E4002
12. ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT FBC ENERGY CONSERVATION
13. LOCATION OF REQUIRED VENTING FOR ALL FUEL BURNING APPLIANCES, INCLUDING FIREPLACES. FB CHAPTER 24



2 1ST FLOOR PLAN
A0.1 SCALE: 1/4" = 1'-0"



3 2ND FLOOR PLAN
A0.1 SCALE: 1/4" = 1'-0"



1 FRONT ELEVATION
A0.1 SCALE: 3/8" = 1'-0"

PADSPLIT AREA PER UNIT

1ST FLOOR HEATED	960 SF
2ND FLOOR HEATED	906 SF
TOTAL HEATED AREA	1,866 SF
GARAGE	0 SF
FRONT ENTRY	16 SF
REAR EXIT	16 SF
TOTAL UNDER ROOF	1,866 SF
TOTAL SLAB	992 SF

CONDITIONED SPACE = 15,888 CF

DRAWING INDEX

SHEET NUMBER	SHEET NAME
A0.1	OVERVIEW
A1.1	FLOOR PLAN
A1.2	FOUNDATION PLAN & ROOF PLAN
A1.3	ELECTRIC FLOOR PLAN
A2.1	ELEVATIONS
A3.1	DETAILS

CODE INFORMATION

BUILDING CODE: 2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION
2023 FLORIDA BUILDING CODE PLUMBING
2023 FLORIDA BUILDING CODE MECHANICAL
2020 NEC

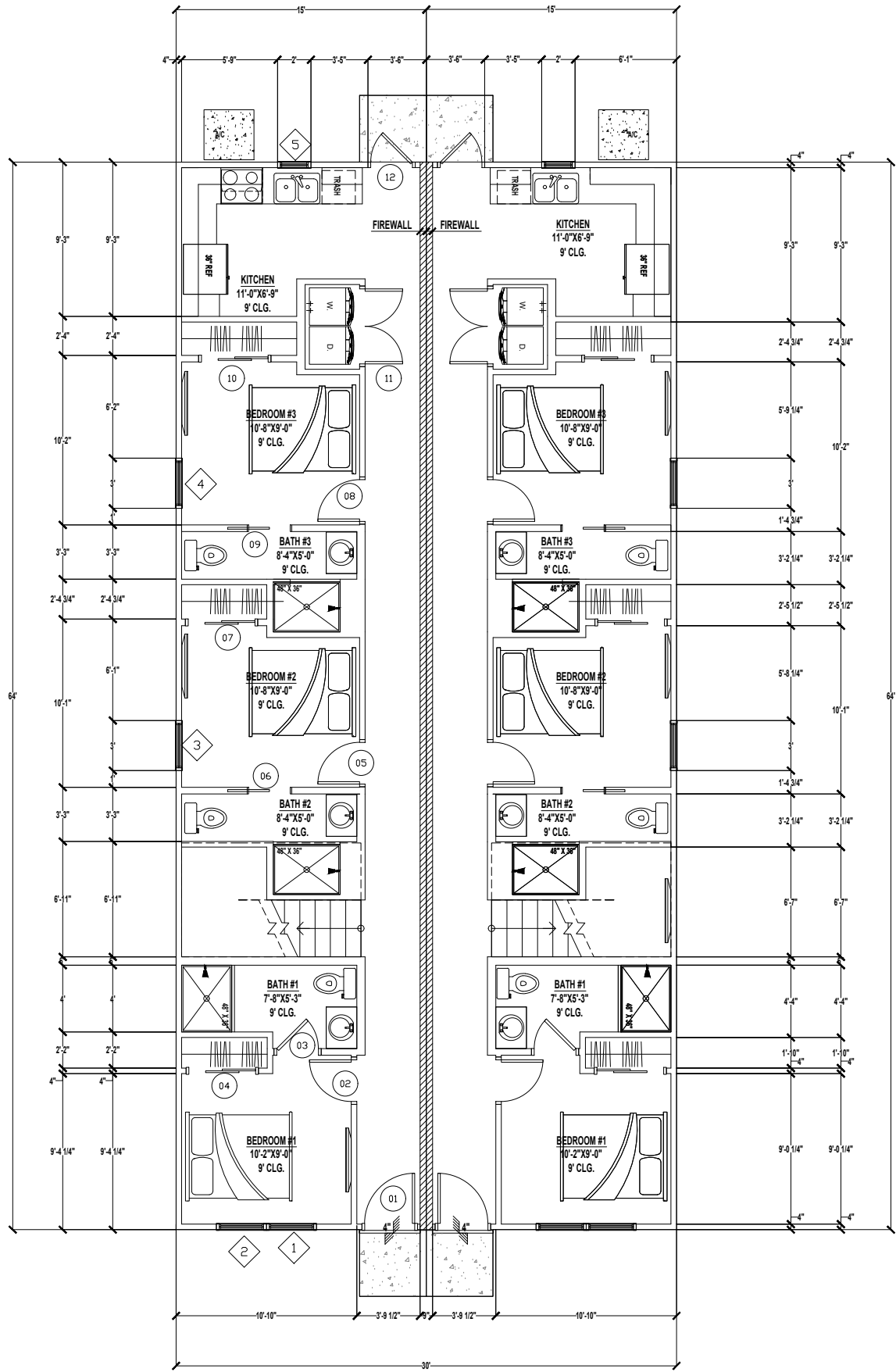
CONSTRUCTION TYPE: 5B
OCCUPANCY CLASS: R-3

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HOMES
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Sheet Description
A0.1 - OVERVIEW

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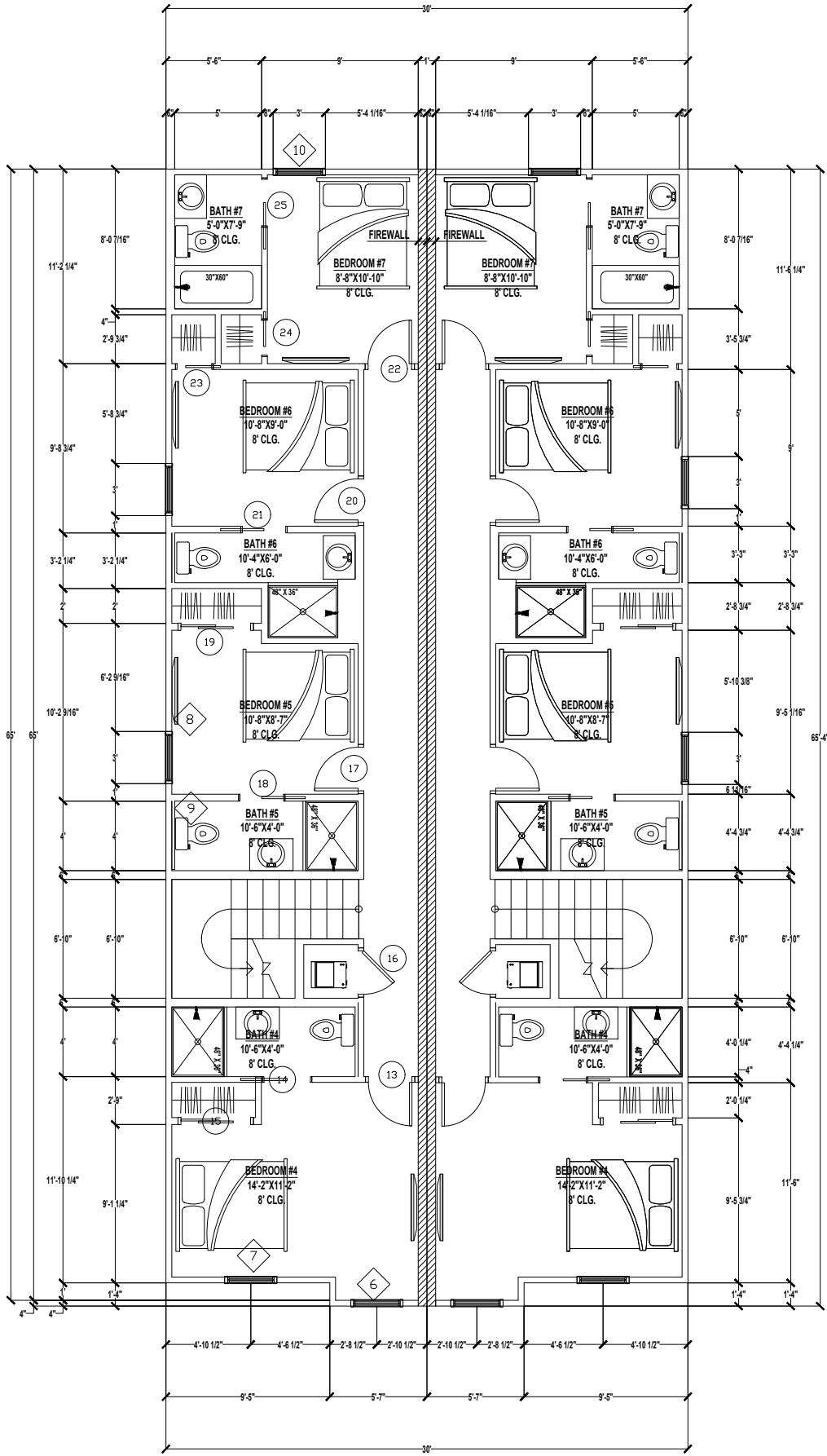
1 1ST FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"

PADSPLIT AREA PER UNIT	
1ST FLOOR HEATED	960 SF
2ND FLOOR HEATED	906 SF
TOTAL HEATED AREA	1,866 SF
GARAGE	0 SF
FRONT ENTRY	16 SF
REAR EXIT	16 SF
TOTAL UNDER ROOF	1,866 SF
TOTAL SLAB	992 SF

CONDITIONED SPACE = 15,888 CF

WINDOW SCHEDULE			
MARK	SIZE		NOTES
	Width	HEIGHT	
1	3'-0"	5'-0"	3050 SH EGRESS
2	3'-0"	5'-0"	3050 SH EGRESS
3	3'-0"	5'-0"	3050 SH EGRESS
4	3'-0"	5'-0"	3050 SH EGRESS
5	2'-0"	3'-0"	2030 SH
6	3'-0"	5'-0"	3050 SH EGRESS
7	3'-0"	5'-0"	3050 SH EGRESS
8	3'-0"	5'-0"	3050 SH EGRESS
9	3'-0"	5'-0"	3050 SH EGRESS
10	3'-0"	5'-0"	3050 SH EGRESS

DOOR SCHEDULE			
MARK	DOOR		NOTES
	WD	HGT	
1	3'-0"	6'-8"	3068
2	2'-6"	6'-8"	2668
3	2'-6"	6'-8"	2668
4	4'-0"	6'-8"	4068
5	2'-6"	6'-8"	2668
6	2'-6"	6'-8"	2668
7	4'-0"	6'-8"	4068
8	2'-6"	6'-8"	2668
9	2'-6"	6'-8"	2668
10	4'-0"	6'-8"	4068
11	4'-6"	6'-8"	1668
12	2'-6"	6'-8"	2668
13	2'-6"	6'-8"	2668
14	2'-8"	6'-8"	2668
15	4'-0"	6'-8"	4068
16	2'-6"	6'-8"	2668
17	2'-6"	6'-8"	2668
18	2'-6"	6'-8"	2668
19	4'-0"	6'-8"	4068
20	2'-6"	6'-8"	2668
21	2'-6"	6'-8"	2668
22	2'-6"	6'-8"	2668
23	2'-0"	6'-8"	2668
24	2'-0"	6'-8"	2668
25	2'-8"	6'-8"	2668



1 2ND FLOOR PLAN
A1.1 SCALE: 1/4" = 1'-0"

By

Date

Revisions

No

1

2

3

4

5

6

A Project For:

SOUTHERN IMPRESSION HOMES

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Sheet Description

A1.1 - FLOOR PLAN

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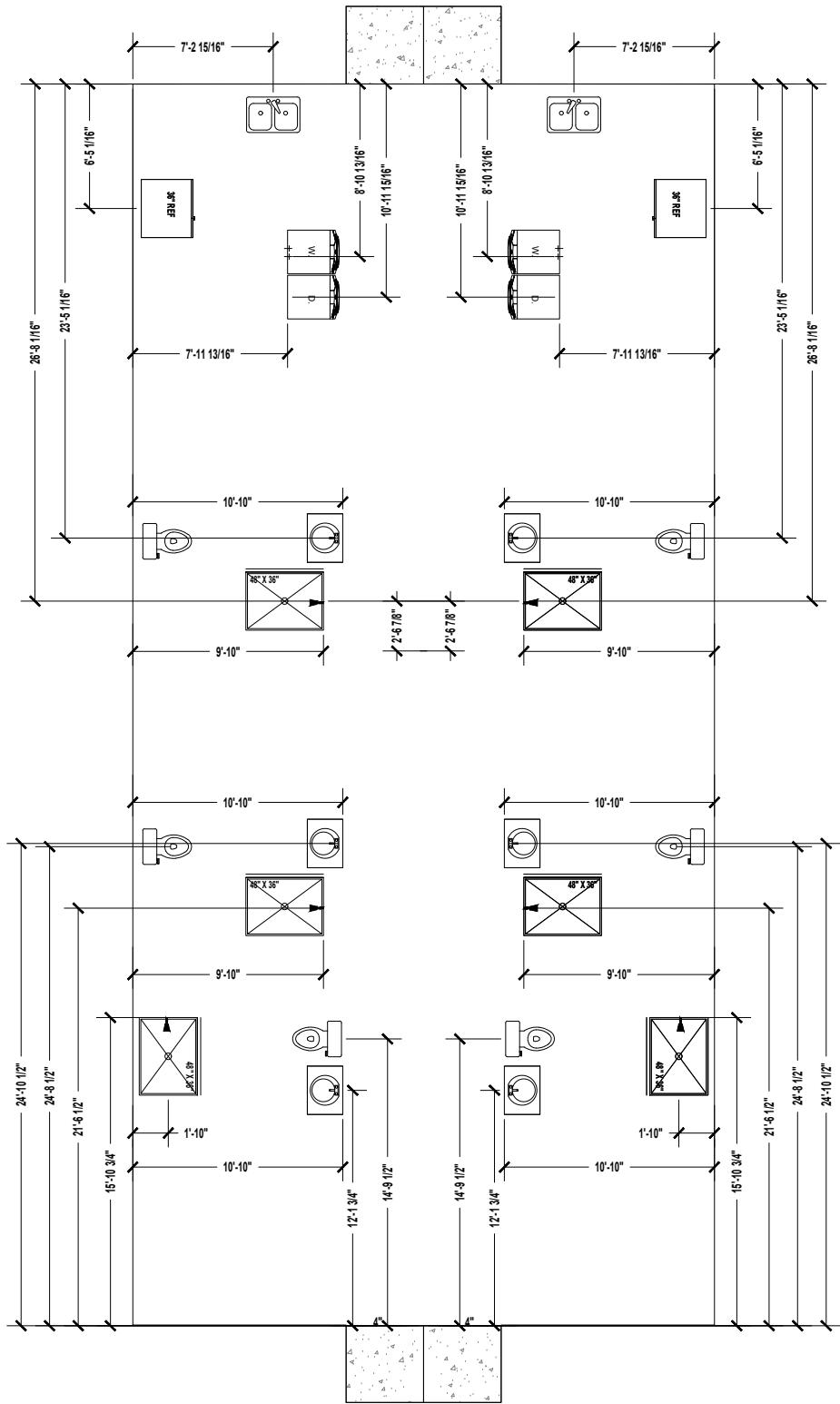
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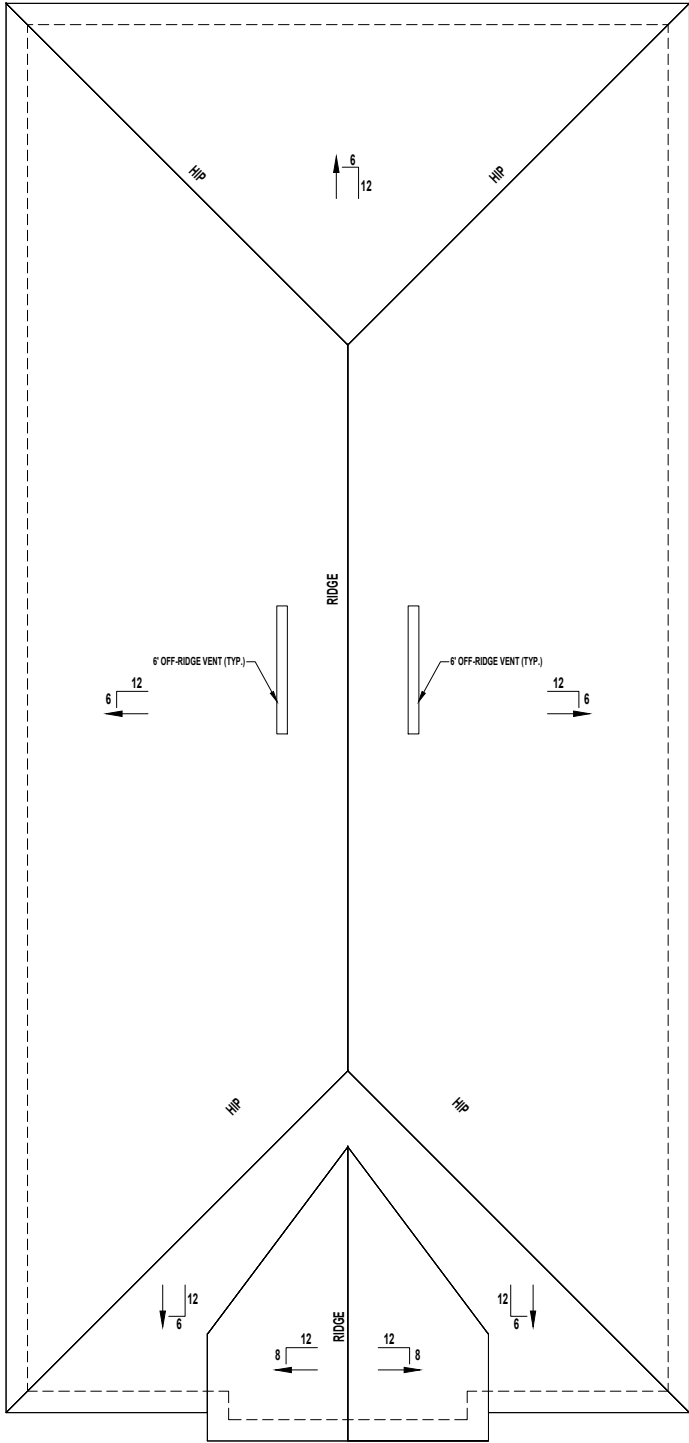
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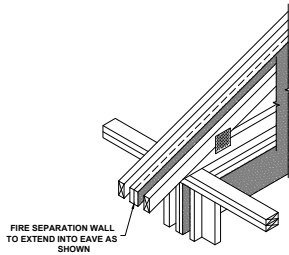
1 FOUNDATION PLAN
A1.2 SCALE: 1/4" = 1'-0"

NOTES TO PLUMBERS:

1. PLUMBING SHALL COMPLY W/ FBC 2023 PLUMBING CODE.
2. WATER HEATER SHALL HAVE A PAN AS REQUIRED AND RELIEF VALVE TO BE PIPED OUTSIDE WITHOUT TRAPPING
3. CLEANDUCT SHALL BE PROVIDED @ BASE OF STACK & @ 41'-0" A.F.F. IN LAUNDRY ROOMS



2 ROOF PLAN
A1.2 SCALE: 1/4" = 1'-0"



FIRE RATED WALL AT SOFFIT - UL DESIGN: U388
SCALE: N.T.S.

VENT CALCULATIONS PER UNIT

VENTED SOFFIT

VENTILATED ATTIC AREA: 1934 SQ. FT.
1934 / 300 = 6.44 SQ. FT.
6.44 SQ. FT. X 144 = 928 SQ. IN. TOTAL NET FREE VENT AREA
928 X 50% = 464 SQ. IN. NET FREE
SOFFIT REQUIREMENT = 6.55 SQ. IN. NET FREE PER LF
464 / 6.55 = 71 LF VENTED SOFFIT REQUIRED

OFF-RIDGE VENTS

VVENTILATED ATTIC AREA: 1934 SQ. FT.
1934 / 300 = 6.44 SQ. FT.
6.44 SQ. FT. X 144 = 928 SQ. IN. TOTAL NET FREE VENT AREA
928 X 50% = 464 SQ. IN. NET FREE
(2) 6' OFF-RIDGE VENTS REQUIRED (207 SQ. IN. EACH)

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Sheet Description
A1.2 - FOUNDATION &
ROOF PLAN

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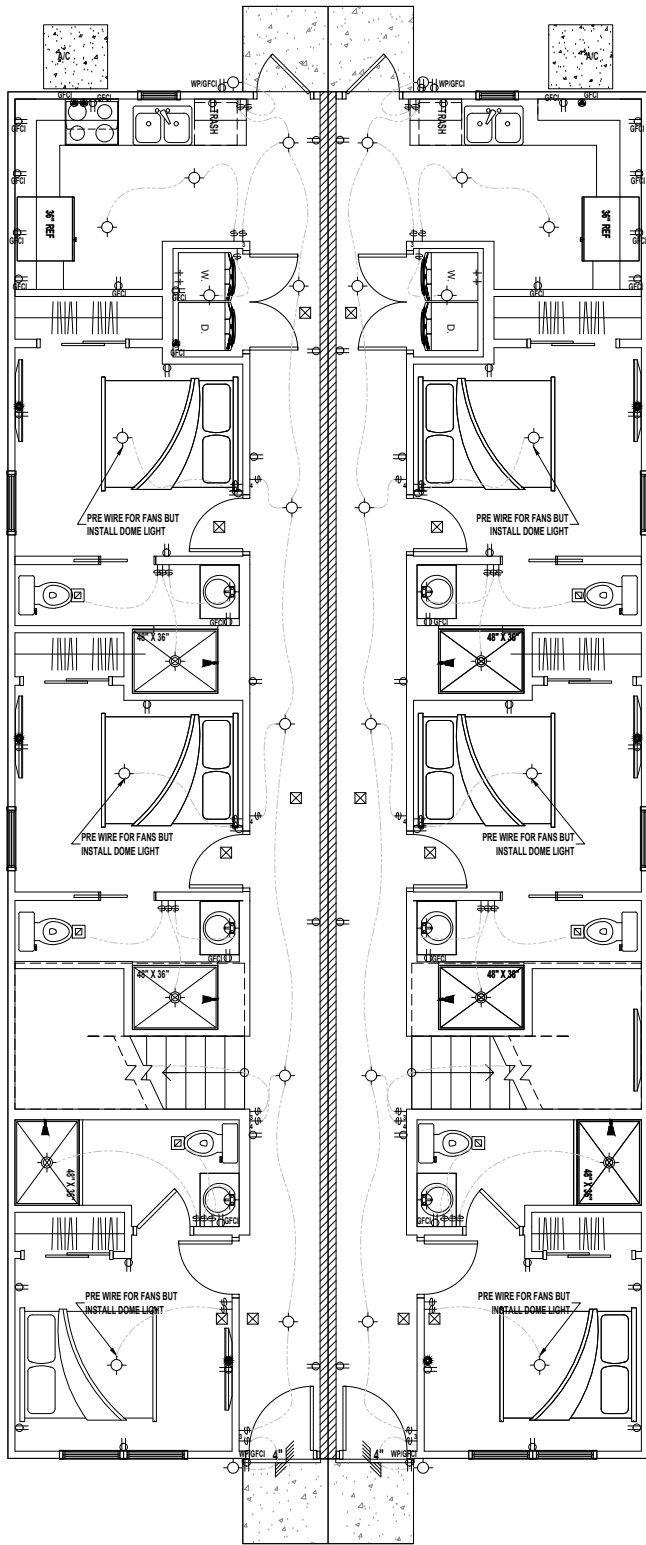
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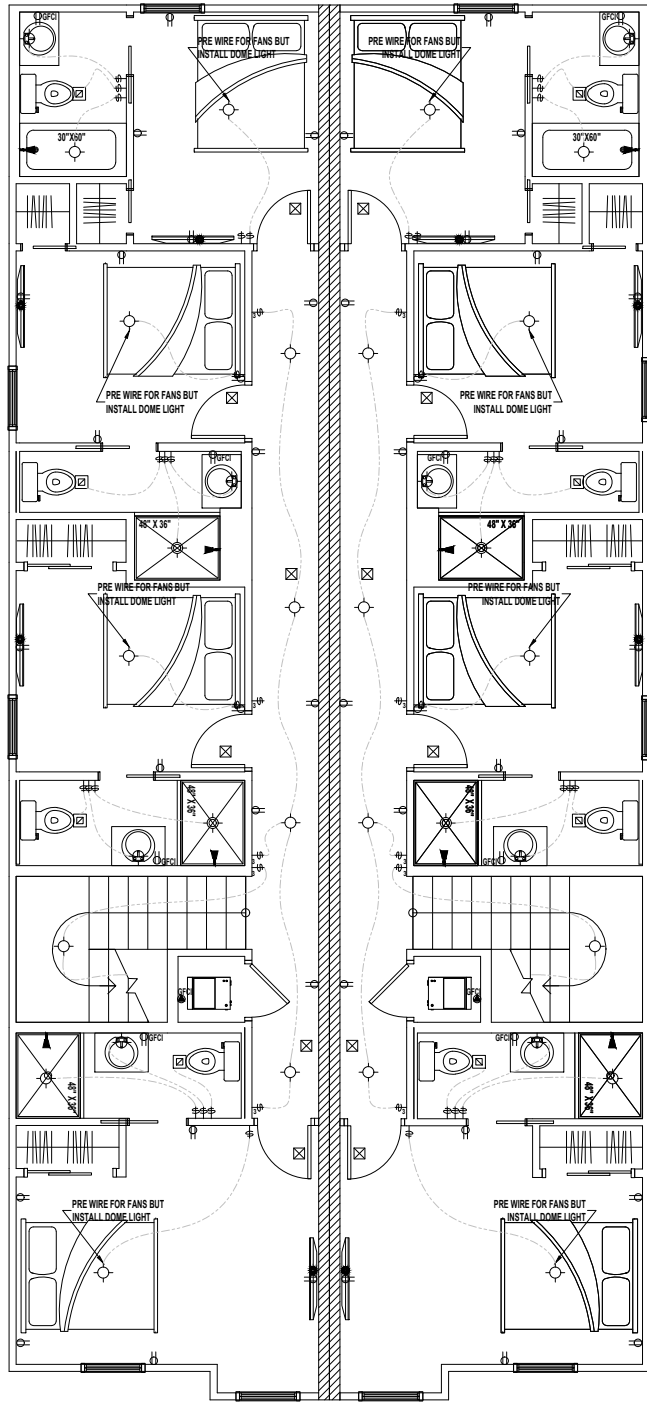
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1 1ST FLOOR ELECTRIC PLAN
A1.3 SCALE: 1/4" = 1'-0"



2 2ND FLOOR ELECTRIC PLAN
A1.3 SCALE: 1/4" = 1'-0"

LEGEND

	(2) 110V OUTLETS
	(1) 220V DISCONNECT
	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT FIXTURE / EXHAUST FAN
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	PENDANT LIGHTING
	PRE-WIRE AND BRACE FOR CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR
	OPTIONAL FLOOD LIGHT
	1'X4' FLOURESCENT LIGHT
	CABLE OUTLET
	PHONE OUTLET

- NOTES:
1. ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES. ELECTRICIAN TO VERIFY.
 2. ALL FIXTURES TO BE CFL OR LED.
 3. ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.

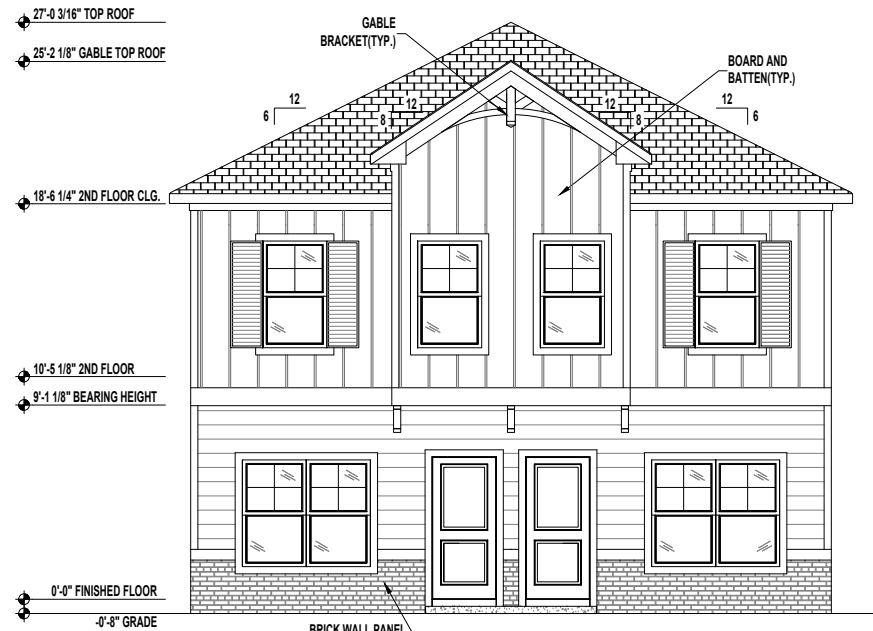
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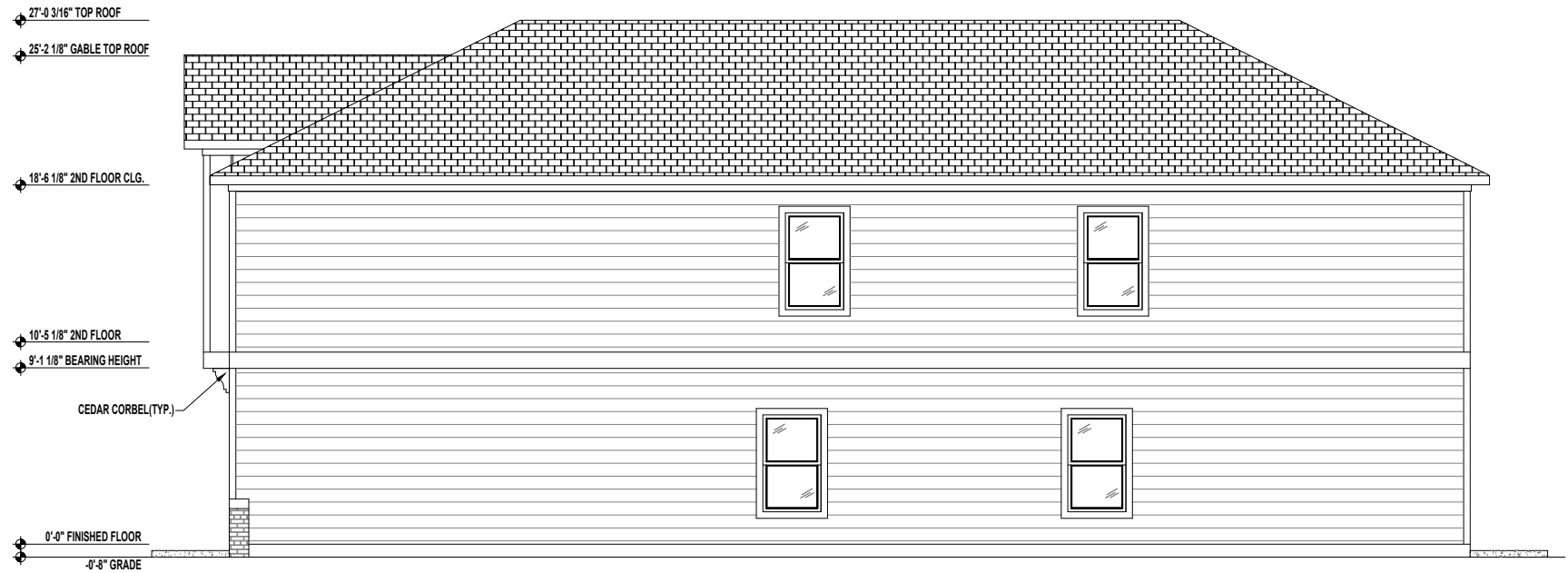
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A1.3 - ELECTRIC
PLAN

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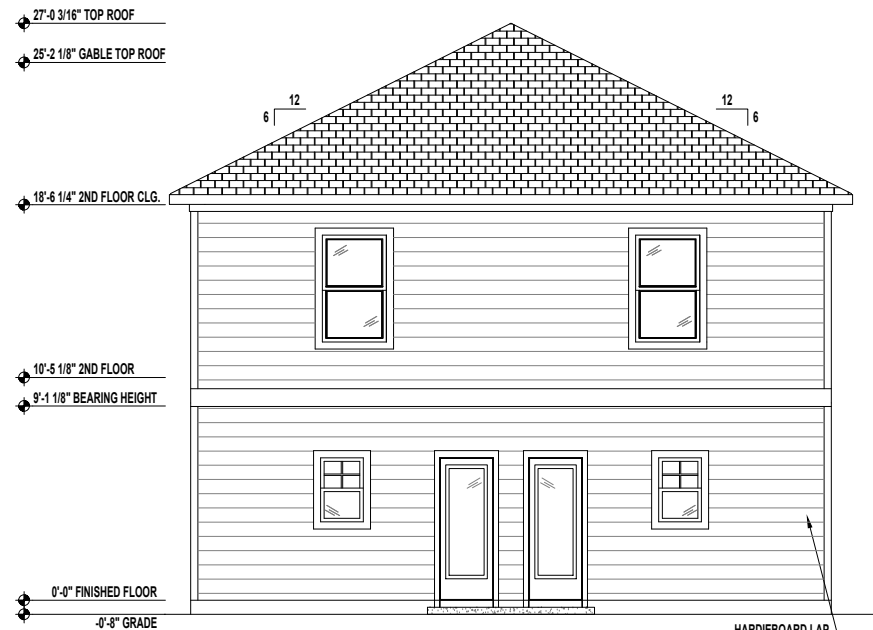
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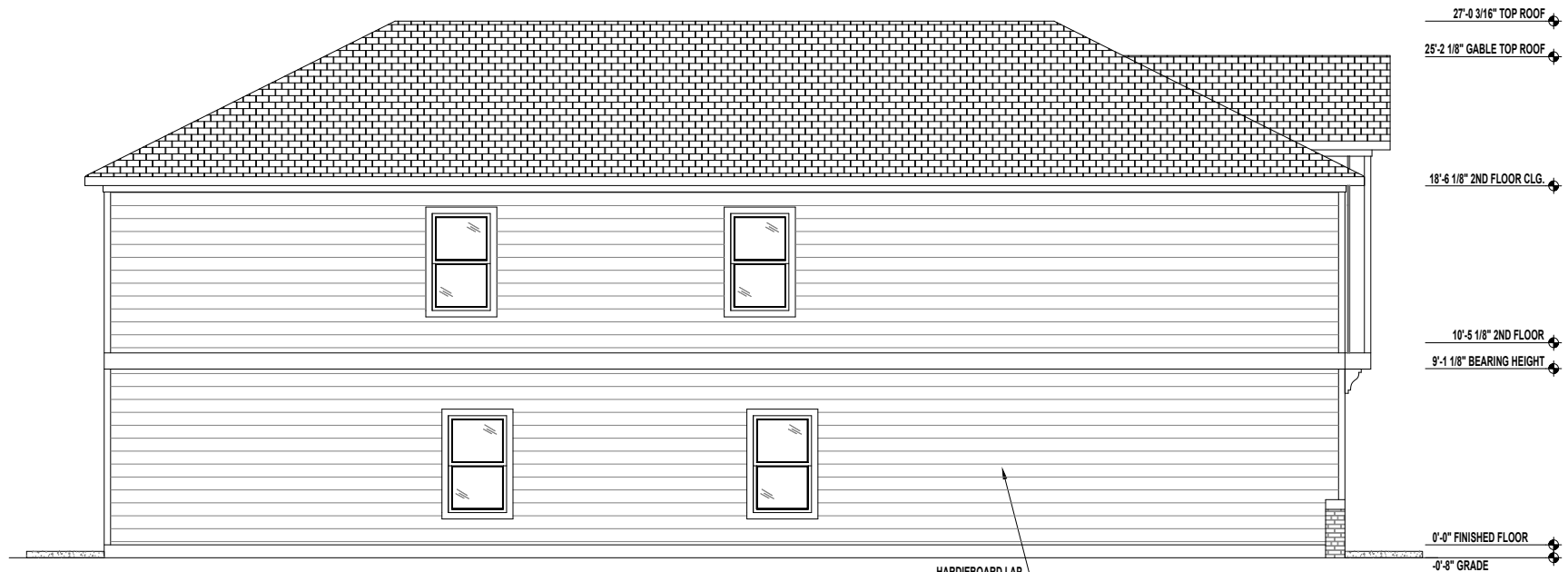
1 FRONT ELEVATION
A2.1 / SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
A2.1 / SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A2.1 / SCALE: 1/4" = 1'-0"



4 LEFT ELEVATION
A2.1 / SCALE: 1/4" = 1'-0"

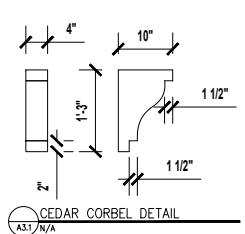
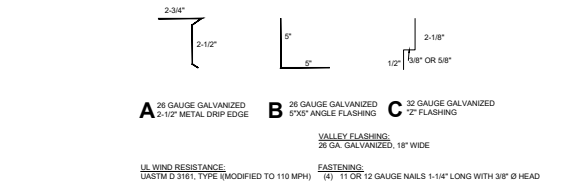
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Sheet Description
A2.1 - ELEVATIONS

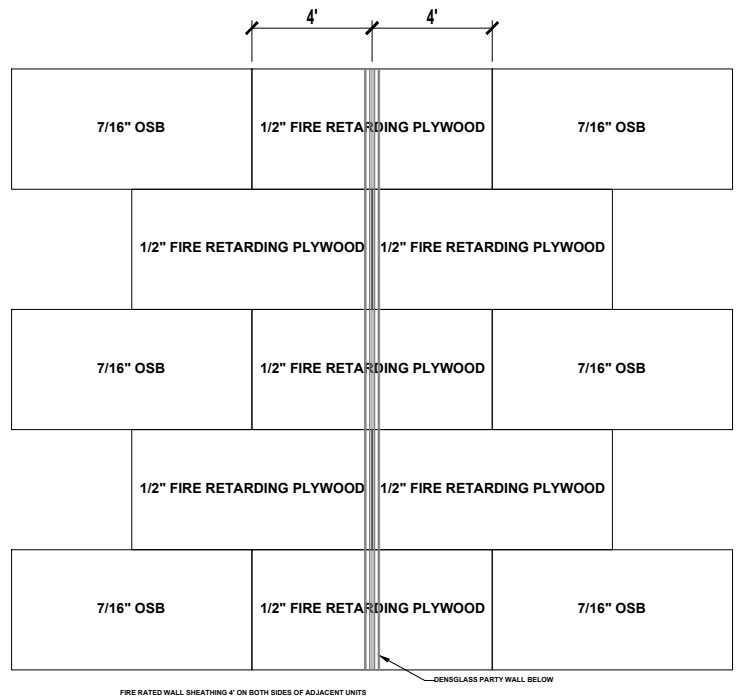
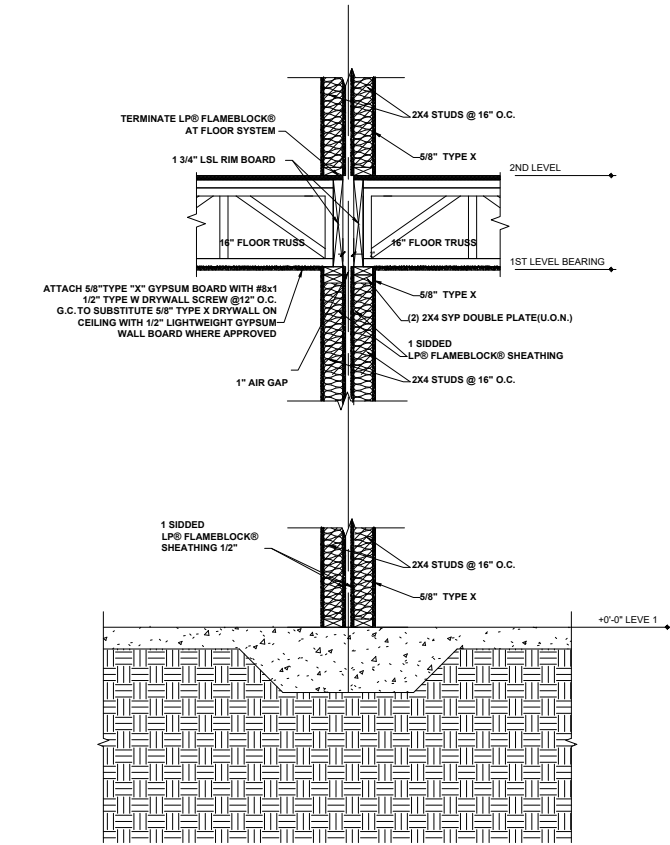
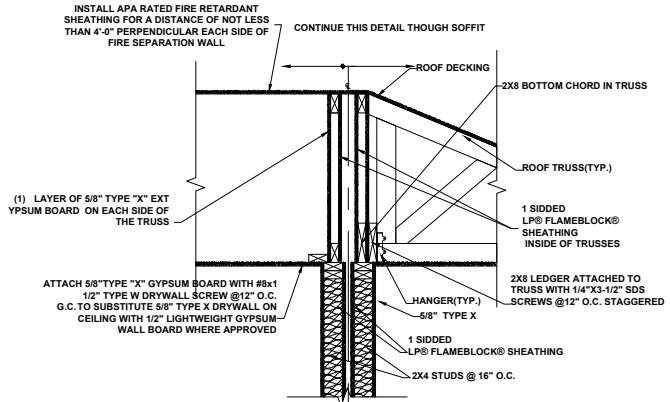
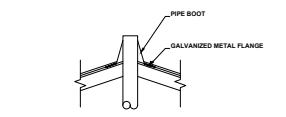
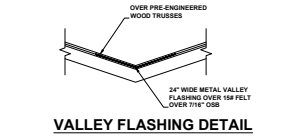
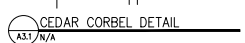
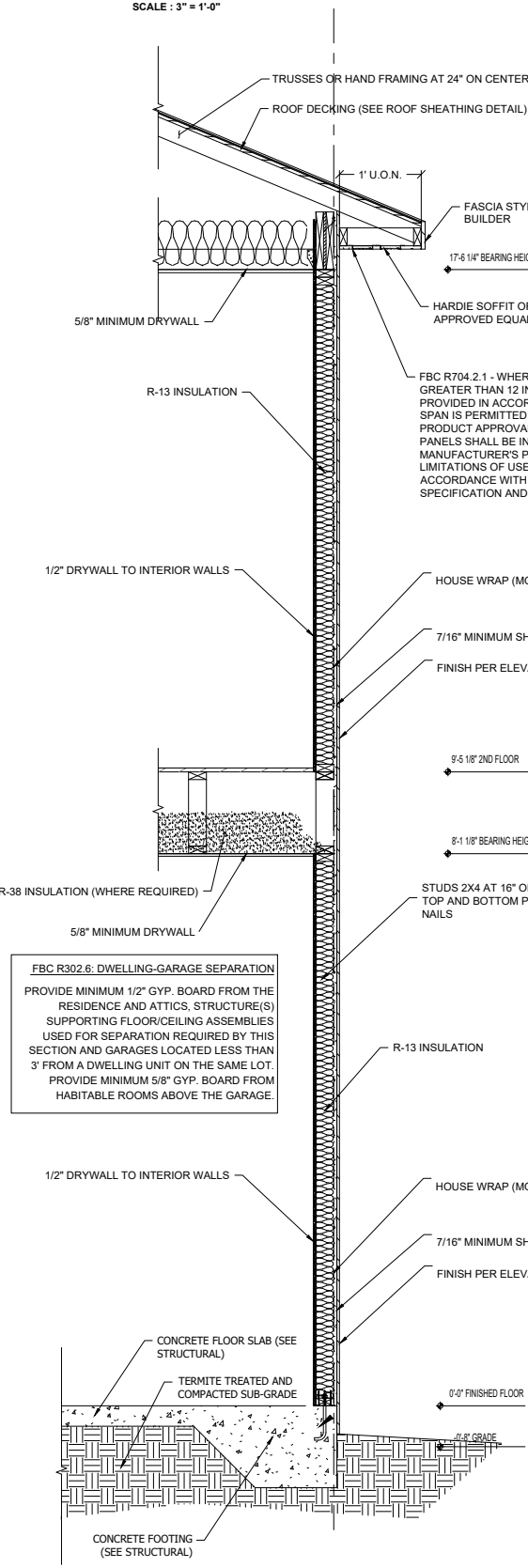
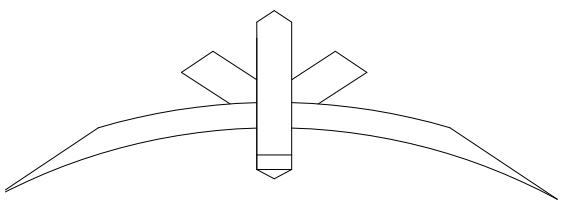
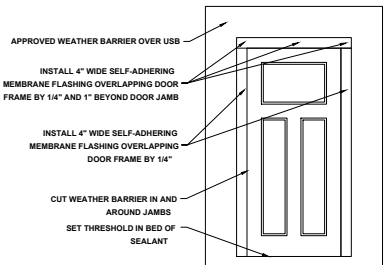
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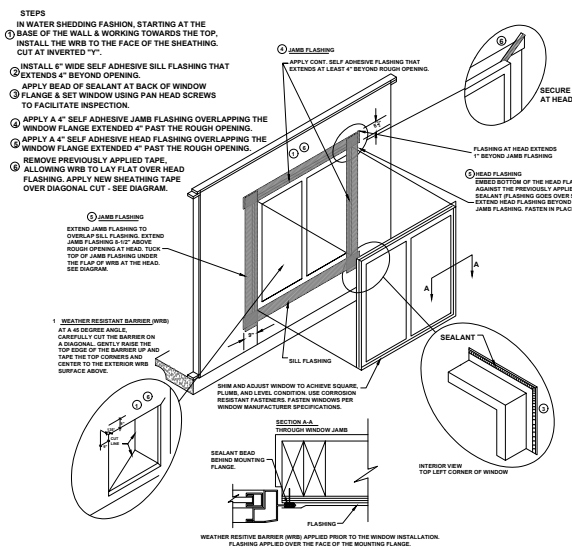


R703.4 FLASHING
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION SUCH A MANOR TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED ANTI-CORROSION RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATION:
1. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.
2. UNDER AN AT ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
3. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
4. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO WALL OR FLOOR ASSEMBLY OR WOOD FRAMED CONSTRUCTION.
5. AT ALL WALL AND ROOD INTERSECTIONS.
6. AT BUILT IN GUTTERS.

VALLEY SHINGLE E INSTALLATION:
INSTALL SHINGLES USING WEAVE METHOD
1. EXTEND(1) FULL END SHINGLE MINIMUM 12" PAST CENTER LINE OF VALLEY. SEE MANUFACTURERS WRITTEN INSTRUCTIONS FOR ADDITIONAL INSTALL INFORMATION. DONOT NAIL MINIMUM 6" FROM VALLEY CENTER LINE.



FBC R302.6: DWELLING-GARAGE SEPARATION
PROVIDE MINIMUM 1/2" GYP. BOARD FROM THE RESIDENCE AND ATTICS, STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION AND GARAGES LOCATED LESS THAN 3' FROM A DWELLING UNIT ON THE SAME LOT. PROVIDE MINIMUM 5/8" GYP. BOARD FROM HABITABLE ROOMS ABOVE THE GARAGE.



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