

ROOF PLAN

OVERALL 1ST FLOOR PLAN

CONTRACTOR TO VERIFY ALL DIMENSIONS AND OPTIONS INCLUDED

OVERALL 2ND FLOOR PLAN

2023 FLORIDA BUILDING CODE:

1. SLEEPING ROOMS HAVE ADEQUATE WINDOW SIZE AND PROPER LOCATION FOR ESCAPE & RESCUE FBC R310
2. ONE BATHROOM WITH A 29" MINIMUM CLEAR ACCESS, ON THE LOWER FLOOR. FBC R320
3. HAZARDOUS GLASS LOCATIONS INDICATED. FBC R308.4
4. ATTIC ACCESS LOCATED WITH OPENING DIMENSIONS FBC R807.
5. PROVIDE PROTECTION FROM IMPACT IN GARAGES FOR DUCTWORK & APPLIANCES. FBC M1307, FBC MECHANICAL 603.15, FBC FUEL GAS 303.4
6. STAIR CONSTRUCTION DETAILS INDICATE PROPER TREAD/RISER RELATIONSHIP, HANDRAIL LOCATION, HANDRAIL/GUARDRAIL HTS., & MINIMUM OPEN RAIL SPACING INDICATED. FBC 311.7, R312.1
7. FLASHING DETAILS @ EXTERIOR WINDOW/DOOR OPENINGS, INTERSECTIONS W/ CHIMNEY/MASONRY/ETC, PROJECTING WOOD TRIM, EXTERIOR DECKS/PORCHES/STAIRS, WALL/ROOF INTERSECTIONS, VENEERS, ETC. FBC BUILDING 107.2.4, FBC R703.4
8. SMOKE DETECTORS & CARBON MONOXIDE DETECTORS (IF APPLICABLE) LOCATED FBS R314 R315
9. PROVIDE ROOF VENTILATION CALCULATION, FBC R806
10. PROVIDE DETAILS FOR DWELLING-GARAGE OPENING AND PENETRATION PROTECTION; PROVIDE DETAILS FOR DWELLING-GARAGE FIRE SEPARATION. FBC R302.5, R302.6
11. PROVIDE LOCATION OF ALL REQUIRED GFI/AFI AND WATERPROOF RECEPTACLE. FBC R390.1, E4002
12. ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCE, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT FBC ENERGY CONSERVATION R404
13. LOCATION OF REQUIRED VENTING FOR ALL FUEL BURNING APPLIANCES, INCLUDING FIREPLACES. FB CHAPTER 24

END UNIT AREAS

1ST FLOOR HEATED AREA	674 SF
2ND FLOOR HEATED AREA	945 SF
TOTAL HEATED AREA	1,619 SF
GARAGE	225 SF
FRONT PORCH	43 SF
LANAI	56 SF
TOTAL UNDER ROOF	1,943 SF

CONDITIONED SPACE = 12.952 CF

MIDDLE UNIT A AREAS

1ST FLOOR HEATED AREA	674 SF
2ND FLOOR HEATED AREA	956 SF
TOTAL HEATED AREA	1,630 SF
GARAGE	225 SF
FRONT PORCH	43 SF
LANAI	53 SF
TOTAL UNDER ROOF	1,951 SF

CONDITIONED SPACE = 13,040 CF

MIDDLE UNIT B AREAS

1ST FLOOR HEATED AREA	674 SF
2ND FLOOR HEATED AREA	849 SF
TOTAL HEATED AREA	1,503 SF
GARAGE	225 SF
FRONT PORCH	43 SF
LANAI	53 SF
TOTAL UNDER ROOF	1,824 SF

CONDITIONED SPACE = 12,096 CF

END UNIT ANSI AREAS

1ST ANSI SF	674 SF
2ND ANSI SF	989 SF
TOTAL ANSI AREA	1,663 SF

MIDDLE UNIT A ANSI AREAS

1ST ANSI SF	674 SF
2ND ANSI SF	1000 SF
TOTAL ANSI AREA	1,674 SF

MIDDLE UNIT B ANSI AREAS

1ST ANSI SF	674 SF
2ND ANSI SF	900 SF
TOTAL ANSI AREA	1,574SF

DRAWING INDEX

<u>SHEET NAME</u>	
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A1.1	OVERALL FLOOR PLAN
A1.2	FOUNDATION PLAN
A1.3	ROOF PLAN
A1.4	FLOOR PLANS
A1.5	ELECTRIC PLANS
A2.1	ELEVATIONS
A3.1	DETAILS

CODE INFORMATION

BUILDING CODE: 2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION
2023 FLORIDA BUILDING CODE PLUMBING
2023 FLORIDA BUILDING CODE MECHANICAL
2020 NEC

CONSTRUCTION TYPE: 5B
OCCUPANCY CLASS: R-3

NOTE:

A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING INSPECTORS USE PRIOR TO FRAMING INSPECTION.

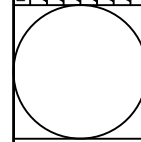
PROPOSED 2 STORY 6 UNIT TOWNHOME

A 0.0 - OVERVIEW 6Plex OP1

SOUTHERN IMPRESSION HOMESS

5711 Richard Street
Jacksonville, FL 32216
(904) 814-7428

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Job 20W - 6PLEX

Sheet
A 0.0 - OVERVIEW
6Plex OP1

1. PARKING BUMPER(IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
2. 5/8" TYPE "X" GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAL SPACE IS ABOVE PER FBC R302.6
3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5
4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

DEPENDENT ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.
HEIGHT SHALL BE 36" MIN. WHEN PORCH, BALCONY OR RISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE AND SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.
OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.8 FOR HANDRAIL CONTINUITY AND SIZE.

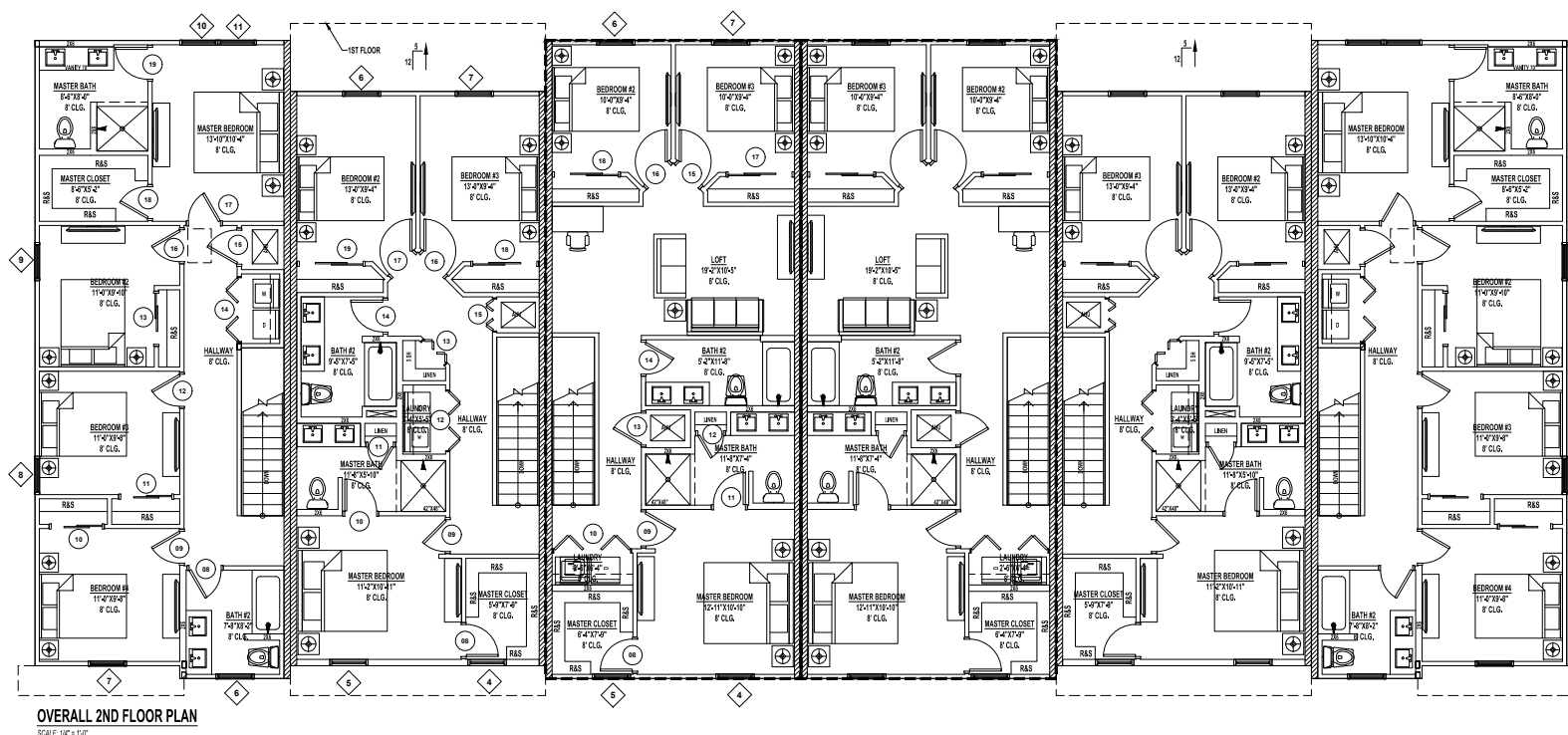
HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.

CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.

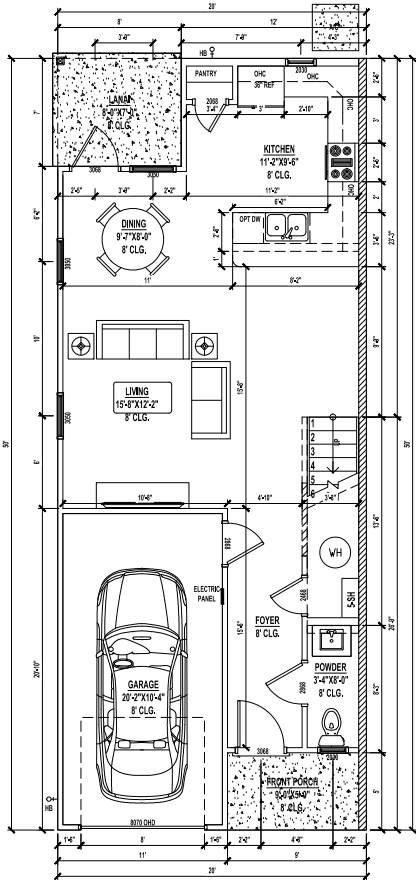
SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4" - 2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

DEPENDENT ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.
 *RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER
 TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD. THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".
 *WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

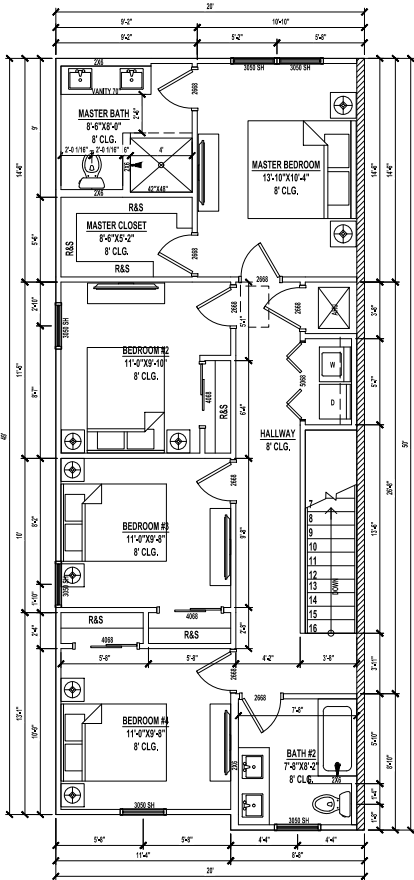
WINDOW SCHEDULE MIDDLE B UNIT				
Number	SIZE		Style	
	Width	Height		
1	2'-0"	3'-0"	2030SH	
2	3'-0"	5'-0"	3050SH	
3	2'-0"	3'-0"	2030SH	
4	3'-0"	5'-0"	3050SH	EGRESS
5	3'-0"	5'-0"	3050SH	EGRESS
6	3'-0"	5'-0"	3050SH	EGRESS
7	3'-0"	5'-0"	3050SH	EGRESS



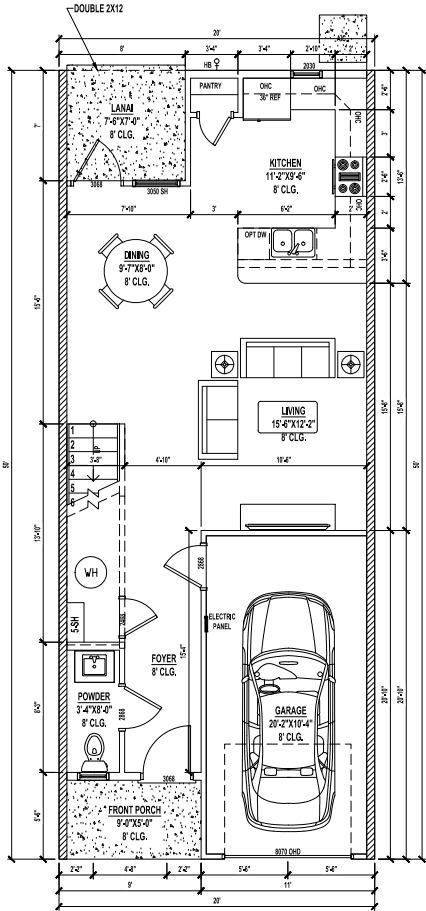
LEGEND	
SYMBOL	DESCRIPTION
	EXTERIOR 2'X4' WOOD FRAME WALL
	2'X6' WOOD FRAME WALL
	FIREWALL



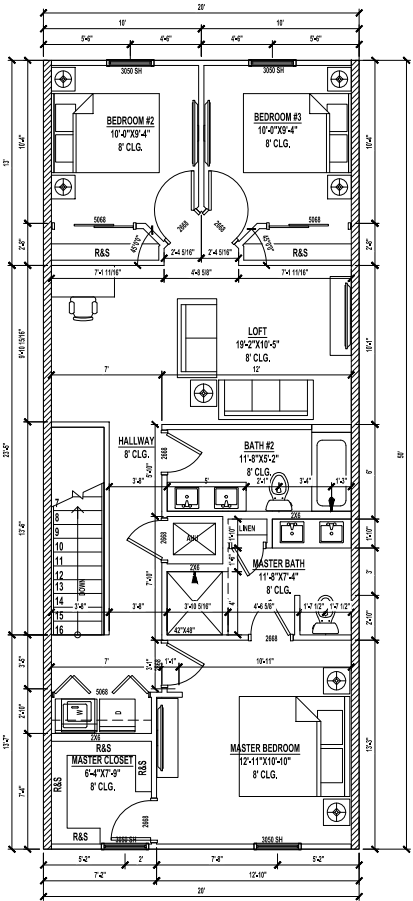
1ST FLOOR PLAN | END UNIT
SCALE: 1/4" = 1'-0"



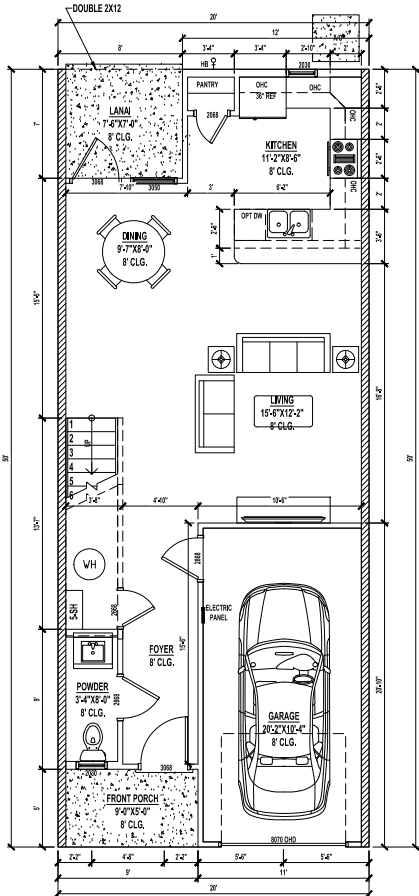
2ND FLOOR PLAN | END UNIT
SCALE: 1/4" = 1'-0"



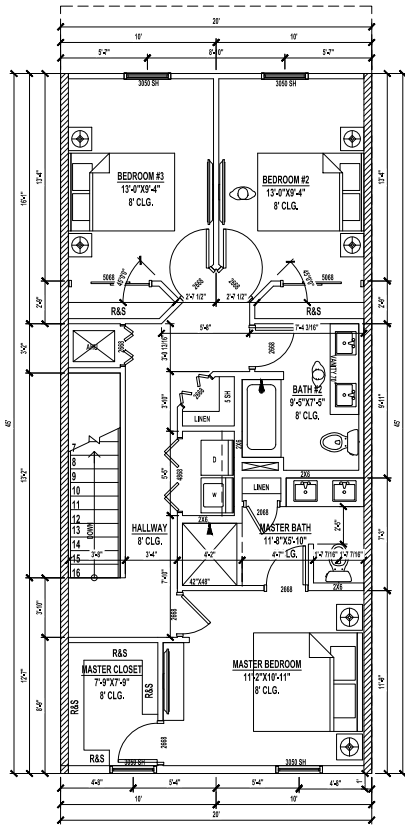
1ST FLOOR PLAN | MIDDLE UNIT A
SCALE: 1/4" = 1'-0"



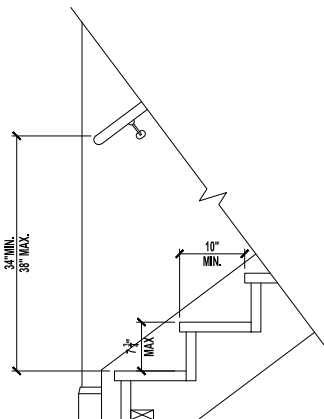
2ND FLOOR PLAN | MIDDLE UNIT A
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN | MIDDLE UNIT B
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN | MIDDLE UNIT B
SCALE: 1/4" = 1'-0"



1 TYPICAL DETAIL @ STAIR
A1.3 1"=1'-0"

TABLE R302.6: DWELLING-GARAGE SEPARATION	
SEPARATION	MATERIAL
FROM THE RESIDENCE AND ATTICS	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
FROM HABITABLE ROOMS ABOVE GARAGE	NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT
STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT	NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALL THAT ARE WITHIN THIS AREA

NOTES:
2X4 EXTERIOR WALL
16" OVERHANG U.O.N.

FBC NOTE:
DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM No. 26 GAGE(0.48mm) SHEET STEEL, 1/4"(25.4mm) MINIMUM RIGID NONMETALLIC CLASS 0 OR CLASS 1 DUCT BOARD, OR OTHER APPROVED MATERIAL AND SHALL NOT HAVE OPENINGS INTO THE GARAGE. FBC R305.5.2

PROPOSED 2 STORY 6 UNIT TOWNHOME

A 1.4 - FLOOR PLAN

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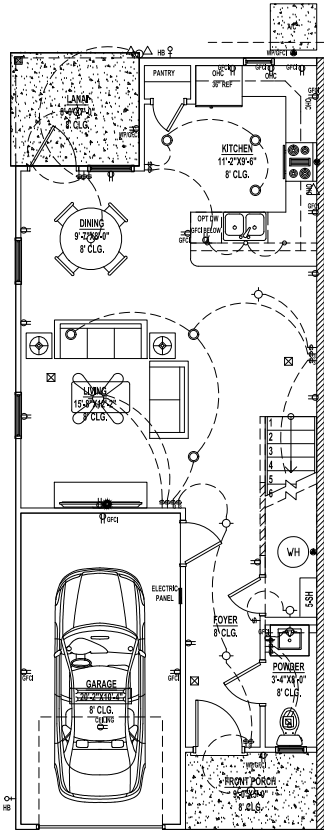
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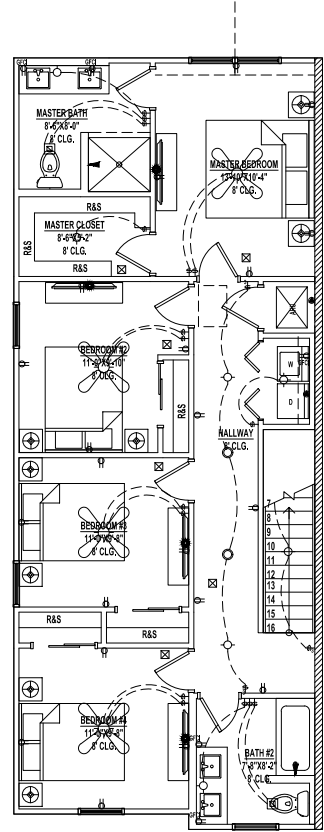
Job 20W - 6PLEX

Sheet A 1.4 - FLOOR PLAN



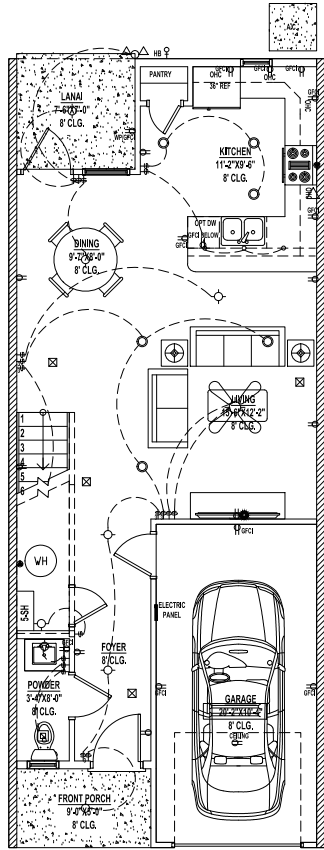
1ST FLOOR ELECTRIC PLAN | END UNIT

SCALE: 1/4" = 1'-0"



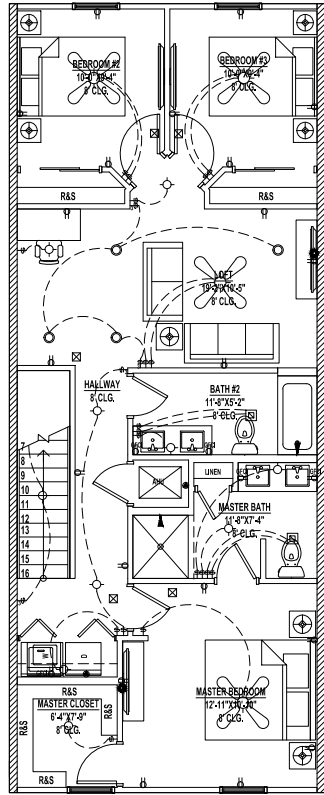
2ND FLOOR ELECTRIC PLAN | END UNIT

SCALE: 1/4" = 1'-0"



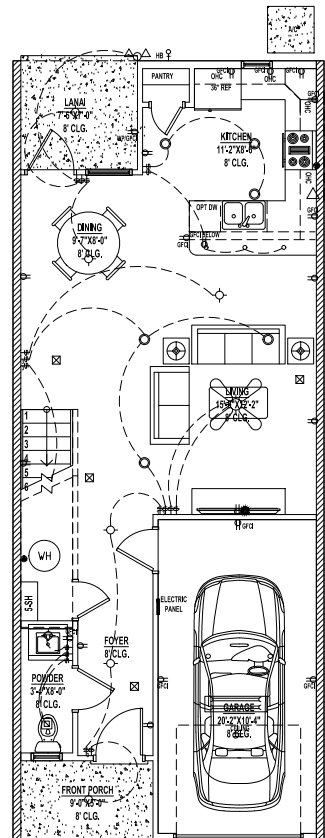
1ST FLOOR ELECTRIC PLAN | MIDDLE UNIT A

SCALE: 1/4" = 1'-0"



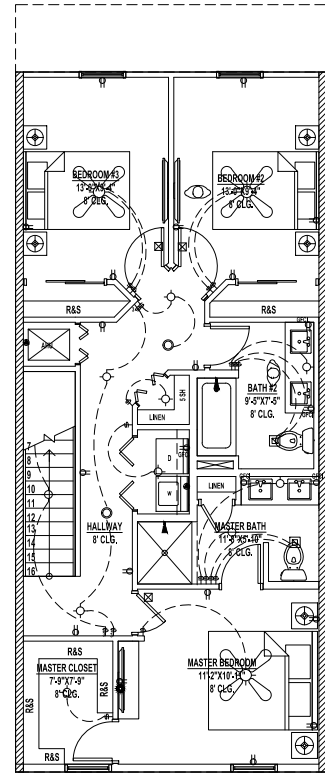
2ND FLOOR ELECTRIC PLAN | MIDDLE UNIT A

SCALE: 1/4" = 1'-0"



1ST FLOOR ELECTRIC PLAN | MIDDLE UNIT B

SCALE: 1/4" = 1'-0"



2ND FLOOR ELECTRIC PLAN | MIDDLE UNIT B

SCALE: 1/4" = 1'-0"

LEGEND

	(2) 110V OUTLETS
	(1) 220V DISCONNECT
	(2) 110V WATERPROOF GFCI OUTLETS (INTERIOR)
	(2) 110V WATERPROOF GFCI OUTLETS (EXTERIOR)
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	LIGHT FIXTURE / EXHAUST FAN
	WALL MOUNTED LIGHT FIXTURE
	CEILING MOUNTED LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	PENDANT LIGHTING
	PRE-WIRE AND BRACE FOR CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR
	OPTIONAL FLOOD LIGHT
	1'X4' FLOURESCENT LIGHT
	CABLE OUTLET
	PHONE OUTLET

NOTES:

- ELECTRICAL LAYOUT MUST MEET STATE AND LOCAL CODES. ELECTRICIAN TO VERIFY.
- ALL FIXTURES TO BE CFL OR LED.
- ALL OUTLETS THAT ARE NOT GFI TO BE AFCI PROTECTED.

NOTES TO ELECTRICIAN:

- SMOKE DETECTORS ARE TO BE IN EACH BEDROOM, COMMON AREA NEAR BEDROOMS, ON EACH STORY, AND CLOSE TO SATAIRS GOING UP; WIRED TO COMPLY WITH NFPA 72
- CARBON MONOXIDE DETECTORS ARE TO BE WITHIN 10' OF SLEEPING ROOMS. COMBINATION UNITS MAY BE USED.
- ALL SHALL HAVE AFCI CIRCUITS & TAMPER PROOF RECP.
- ALL UL LISTED SUPPORT BOX FOR ALL FAN PREWIRES.
- ELECTRICIAN DESIGN SHALL COMPLY WITH THE NEC 2020 WITH ANY APPLICABLE LOCAL CODES, RULES & ORDINANCES.

NOTES:

- ALL OUTLETS TO BE "A.F.I."
- ALL EXTERIOR OUTLETS AND OUTLETS IN WET AREA TO BE "G.F.I."
- ALL ELECTRICAL WIRING TO BE IN ACCORDANCE WITH BUILDING CODE.
- PROVIDE AFCI

NOTES:

SPECIFICATIONS AND PRICE SUMMARIES TO SUPERSEDE THIS ELECTRICAL PLAN. THE PURPOSE OF THIS PLAN IS TO OBTAIN AN ELECTRICAL PERMIT. FIXTURES, SWITCH LOCATIONS, AND RECEPTACLE LOCATIONS SHOWN ON THIS PLAN MAY BE INACCURATE DUE TO FRAMING OR MECHANICAL CONFLICTS, SITE CONDITIONS, AND/OR BUILDING CODE REQUIREMENTS

FBC ENERGY NOTE:

- FBC ENERGY R404.1 NOT LESS THAN 90% OF THE LAMPS IN PERMANENTLY INSTALLED LUMINAIRES SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT.
- LAMPS TO BE INSTALLED, 100% HIGH EFFICACY CONFIRM BUILDER STANDS.

EXHAUST VENT:

- ALL EXHAUST VENT FANS SHALL BE VENTED THROUGH THE ROOF.
- DRYER VENT SHALL BE VENTED THROUGH THE ROOF OR THROUGH AN EXTERIOR WALL. (DO NOT VENT WITHIN 10' OF A/C CONDENSER)

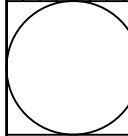
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A 1.5 - ELECTRIC PLAN

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A 1.5 - ELECTRIC
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