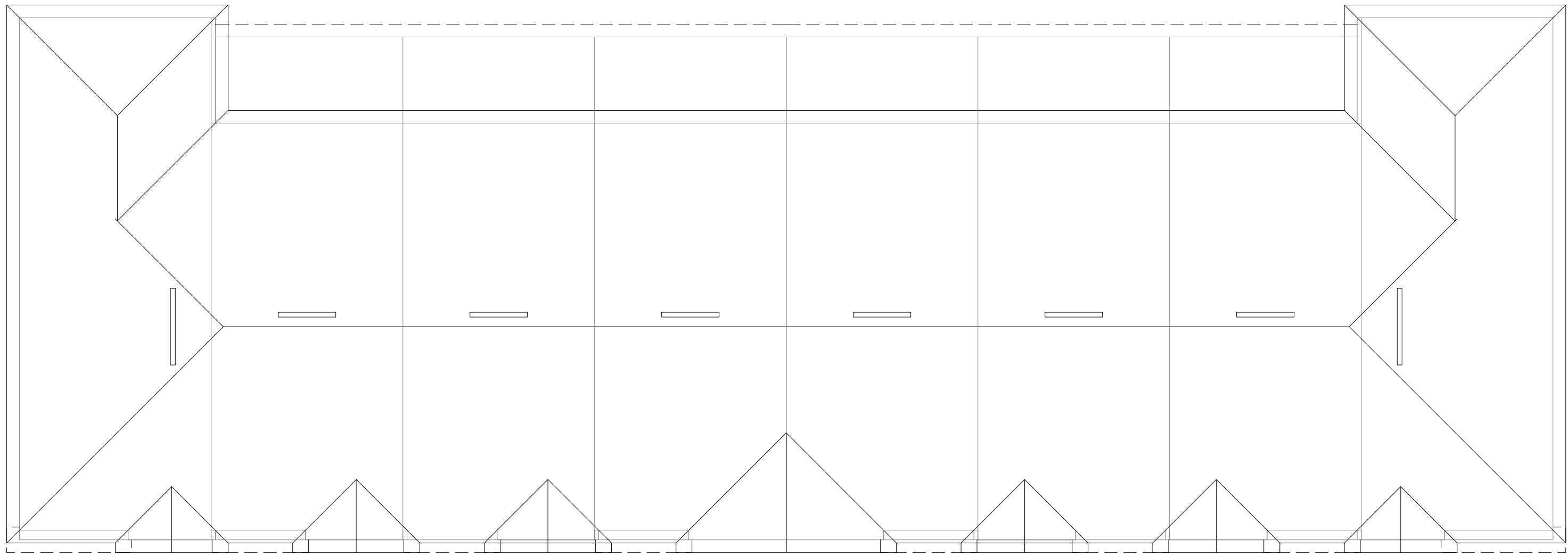
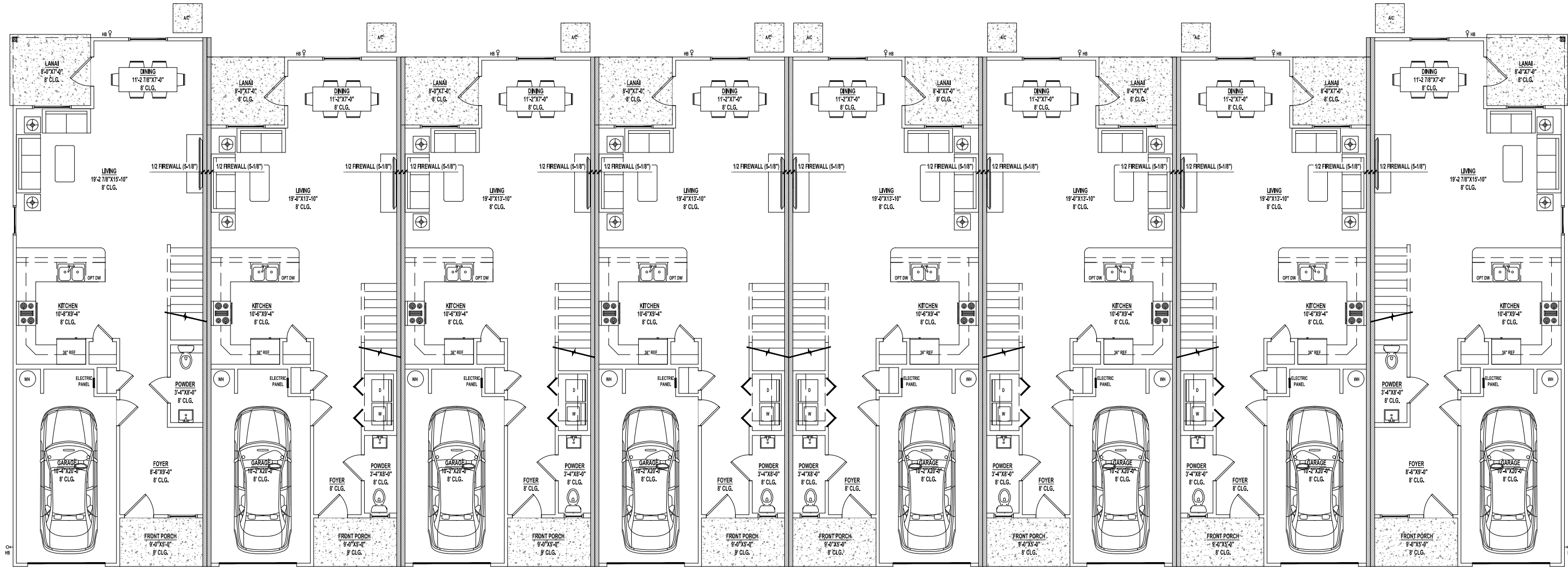




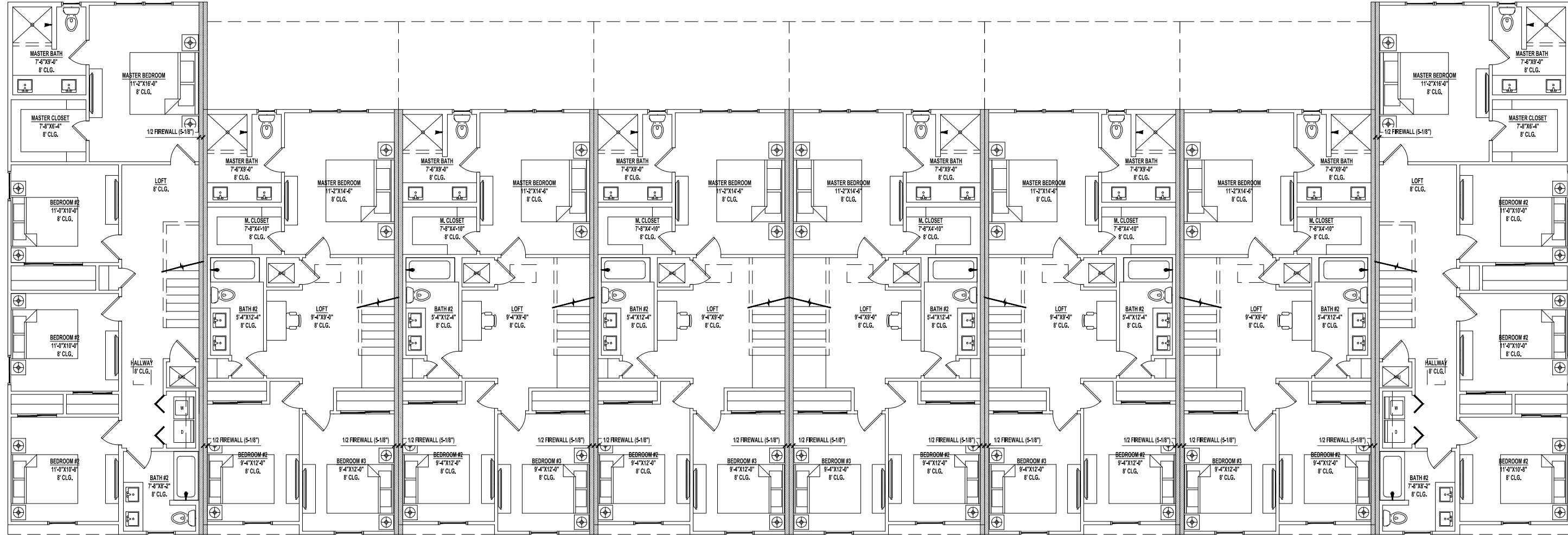
1 ROOF  
A0.0 SCALE: 3/32" = 1'-0"



2 FRONT ELEVATION  
A0.0 SCALE: 3/32" = 1'-0"



3 FIRST FLOOR  
A0.0 SCALE: 3/32" = 1'-0"



4 SECOND FLOOR  
A0.0 SCALE: 3/32" = 1'-0"

## 2023 FLORIDA BUILDING CODE:

- SLEEPING ROOMS HAVE ADEQUATE WINDOW SIZE AND PROPER LOCATION FOR ESCAPE & RESCUE FBC R310
- ONE BATHROOM WITH A 29" MINIMUM CLEAR ACCESS, ON THE LOWER FLOOR. FBC R302
- HAZARDOUS GLASS LOCATIONS INDICATED. FBC R308.4
- ATTIC ACCESS LOCATED WITH OPENING DIMENSIONS FBC R807.
- PROVIDE PROTECTION FROM IMPACT IN GARAGES FOR DUCTWORK & APPLIANCES. FBC M1307, FBC MECHANICAL 603.15, FBC FUEL GAS 303.4
- STAIR CONSTRUCTION DETAILS INDICATE PROPER TREAD/RISER REALTIONSHIP, HANDRAIL LOCATION, HANDRAIL/GUARDRAIL HTS., & MINIMUM OPEN RAIL SPACING INDICATED. FBC 311.7, R312.1
- FLASHING DETAILS @ EXTERIOR WINDOW/DOOR OPENINGS, INTERSECTIONS W/ CHIMNEY/MASONRY/ETC, PROJECTING WOOD TRIM, EXTERIOR DECKS/PORCHES/STAIRS, WALL/ROOF INTERSECTIONS, VENEERS , ETC. FBC BUILDING 107.2.4, FBC R703.4
- SMOKE DETECTOTS & CARBON MONOXIDE DETECTORS(IF APPLICABLE) LOCATED FBS R314 R315
- PROVIDE ROOF VENTILATION CALCULATION, FBC R806
- PROVIDE DETAILS FOR DWELLING-GARAGE OPENING AND PENETRATION PROTECTION; PROVIDE DETAILS FOR DWELLING-GARAGE FIRE SEPARATION. FBC R302.5, R302.6
- PROVIDE LOCATION OF ALL REQUIRED GFIAFI AND WATERPROOF RECEPTACLE. FBC R3901, E4002
- ALL PERMANENTLY INSTALLED LUMINAIRES, EXCLUDING THOSE IN KITCHEN APPLIANCES, SHALL HAVE AN EFFICACY OF AT LEAST 45 LUMENS-PER-WATT OR SHALL UTILIZE LAMPS WITH AN EFFICACY OF NOT LESS THAN 65 LUMENS-PER-WATT FBC ENERGY CONSERVATION
- LOCATION OF REQUIRED VENTING FOR ALL FUEL BURNING APPLIANCES, INCLUDING FIREPLACES. FB CHAPTER 24

### END UNIT AREAS

|                       |          |
|-----------------------|----------|
| 1ST FLOOR HEATED AREA | 772 SF   |
| 2ND FLOOR HEATED AREA | 1,038 SF |
| TOTAL HEATED AREA     | 1,810 SF |
| GARAGE                | 217 SF   |
| FRONT PORCH           | 45 SF    |
| LANAI                 | 56 SF    |
| TOTAL UNDER ROOF      | 2,128 SF |

CONDITIONED SPACE = 14,480 CF

### MIDDLE UNIT AREAS

|                       |          |
|-----------------------|----------|
| 1ST FLOOR HEATED AREA | 732 SF   |
| 2ND FLOOR HEATED AREA | 807 SF   |
| TOTAL HEATED AREA     | 1,539 SF |
| GARAGE                | 217 SF   |
| FRONT PORCH           | 45 SF    |
| LANAI                 | 56 SF    |
| TOTAL UNDER ROOF      | 1,857 SF |

CONDITIONED SPACE = 12,312 CF

**NOTE:**  
A FOUNDATION SURVEY SHALL BE PERFORMED AND A COPY  
OF THE SURVEY SHALL BE ON THE SITE FOR THE BUILDING  
INSPECTORS USE PRIOR TO FRAMING INSPECTION.

### DRAWING INDEX

| SHEET NUMBER | SHEET NAME       |
|--------------|------------------|
| A0.0         | OVERVIEW & Pbx   |
| A1.1         | OVERALL 1ST PLAN |
| A1.2         | OVERALL 2ND PLAN |
| A1.3         | FOUNDATION PLAN  |
| A1.4         | ROOF PLAN        |
| A1.5         | FLOOR PLANS      |
| A1.6         | ELECTRIC PLANS   |
| A2.1         | ELEVATIONS       |
| A2.2         | ELEVATIONS       |
| A3.1         | DETAILS          |

### CODE INFORMATION

|                |                                                     |
|----------------|-----------------------------------------------------|
| BUILDING CODE: | 2023 FLORIDA BUILDING CODE RESIDENTIAL 8TH ADDITION |
|                | 2023 FLORIDA BUILDING CODE PLUMBING                 |
|                | 2023 FLORIDA BUILDING CODE MECHANICAL               |
|                | 2020 NEC                                            |

|                    |     |
|--------------------|-----|
| CONSTRUCTION TYPE: | SB  |
| OCCUPANCY CLASS:   | R-3 |

# LAKE LENA

## Lake Lena Fr 8plex 2ST 4&3BD

### 2.5BA 1G

A Project For:  
**Southern Impression  
Homes**  
10151 Deerwood Park Blvd,  
Building 400, Suite 300,  
Jacksonville, FL 32256

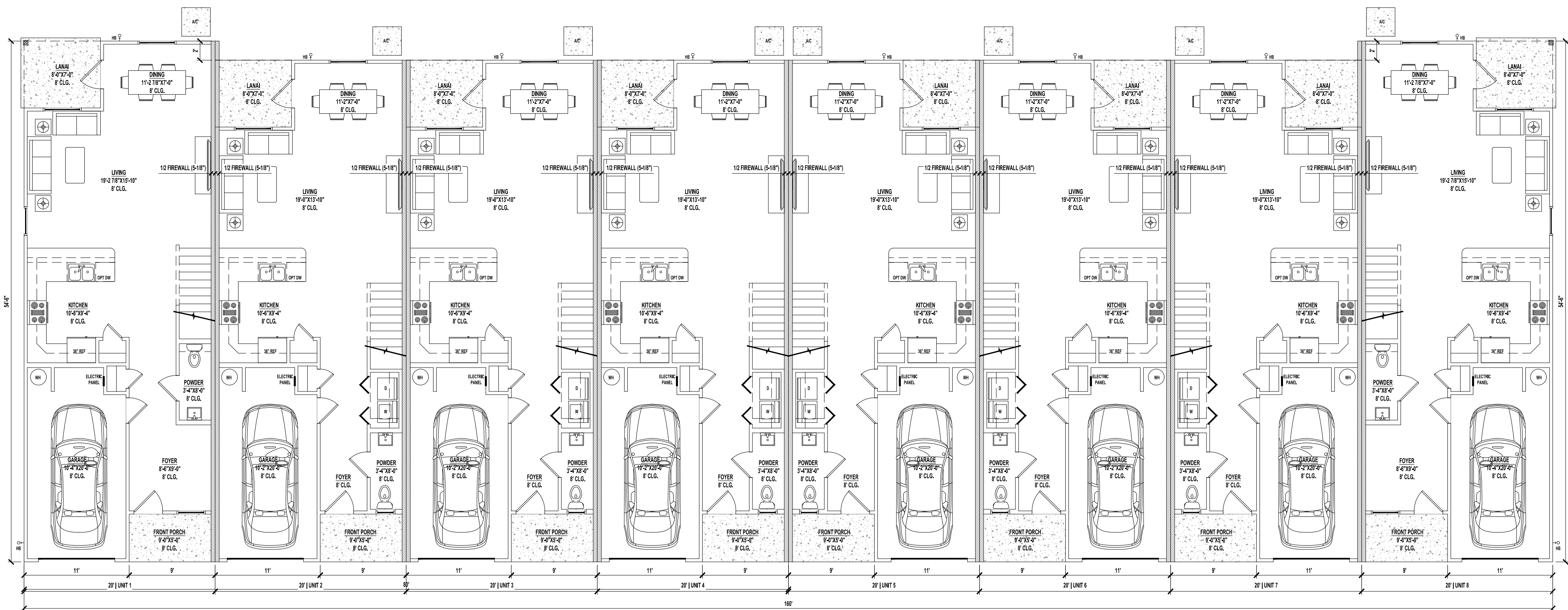
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**A0.0 -  
OVERVIEW**  
4 Plex

Drawn by:  
**RKL**  
Issued Date:  
**9/10/25**  
Printed Date:  
**9/10/25**

Checked by:  
**CG**  
Scale (U.N.O.):  
**1/8" = 1'-0"**  
Sheet Number  
of



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1 OVERALL 1ST FLOOR  
A1.1 SCALE: 1/8" = 1'-0"

END UNIT AREAS

|                       |          |
|-----------------------|----------|
| 1ST FLOOR HEATED AREA | 772 SF   |
| 2ND FLOOR HEATED AREA | 1,038 SF |
| TOTAL HEATED AREA     | 1,810 SF |
| GARAGE                | 217 SF   |
| FRONT PORCH           | 45 SF    |
| LANAI                 | 56 SF    |
| TOTAL UNDER ROOF      | 2,128 SF |

CONDITIONED SPACE = 14,480 CF

MIDDLE UNIT AREAS

|                       |          |
|-----------------------|----------|
| 1ST FLOOR HEATED AREA | 732 SF   |
| 2ND FLOOR HEATED AREA | 807 SF   |
| TOTAL HEATED AREA     | 1,539 SF |
| GARAGE                | 217 SF   |
| FRONT PORCH           | 45 SF    |
| LANAI                 | 56 SF    |
| TOTAL UNDER ROOF      | 1,857 SF |

CONDITIONED SPACE = 12,312 CF

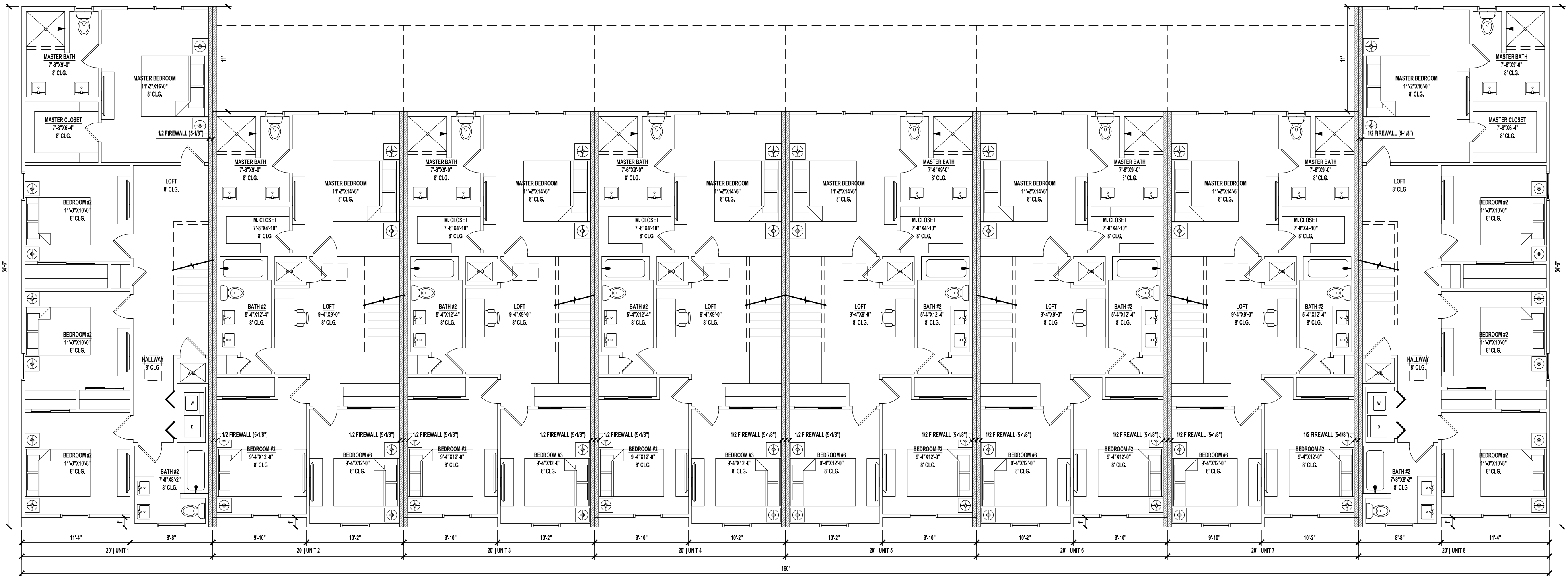
NOTES:

1. IF SHOWER HAS GLASS ENCLOSURE, SAFETY GLAZING REQUIRED PER FBC R-308.4.5.
2. PROVIDE TEMPERED GLASS AS REQUIRED.
3. CONTRACTOR MUST VERIFY ALL DIMENSIONS.
4. PROVIDE DOUBLE LAYER FIRE RATED PLYWOOD FOR FRONT PORCH CEILINGS PER UL ER7002-01.
5. REFER TO DETAIL U314 FOR EXTERIOR GARAGE SIDE WALLS ON 1ST AND 2ND FLOOR.

TABLE R302.6: DWELLING-GARAGE SEPARATION

| SEPARATION                                                                                    | MATERIAL                                                                                                              |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| FROM THE RESIDENCE AND ATTICS                                                                 | NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE                                              |
| FROM HABITABLE ROOMS ABOVE GARAGE                                                             | NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT                                                                |
| STRUCTURE(S) SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR SEPARATION REQUIRED BY THIS SECTION | NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT                                                                         |
| GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT                         | NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALL THAT ARE WITHIN THIS AREA |





1 OVERALL 2ND FLOOR  
A1.2 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. PARKING BUMPER(IF REQUIRED) MUST BE INSTALLED BEFORE C.O.
2. 5/8" TYPE "X" GYP. BOARD REQUIRED ON CEILING OF GARAGE WHERE HABITAL SAPACE IS ABOVE PER FBC R302.6
3. HVAC PENETRATING RATED ASSEMBLIES TO COMPLY WITH FBC R302.5
4. UNDER STAIR PROTECTION TO COMPLY WITH FBC R302.7 (IF ACCESSIBLE).

GUARDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R312.1 FOR GUARDRAIL REQUIREMENTS AND OPENINGS.  
HEIGHT SHALL BE 36"MIN. WHEN PORCH, BALCONY OR RISED FLOOR EXCEEDS 30" ABOVE FLOOR OR GRADE ANS SHALL BE 34" ON OPEN SIDES OF STAIRS THAT EXCEED 30" OR MORE ABOVE FLOOR OR GRADE.  
OPENINGS SHALL HAVE INTERMEDIATE RAILS OR CLOSURES WHICH DO NOT ALLOW PASSAGE OF SPHERE 4" OR GREATER IN DIAMETER. REQUIRED GUARD RAILS ON THE SIDES OF STAIR TREADS SHALL NOT ALLOW SPHERE GREATER THAN 4-3/8" IN DIAMETER TO PASS THROUGH.

HANDRAIL NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.8 FOR HANDRAIL CONTINUITY AND SIZE.  
HEIGHT: MUST BE BETWEEN 34-38" MEASURED VERTICALLY FROM SLOPED PLANE.  
CONTINUITY: HANDRAIL MUST BE CONTINUOUS THROUGH FULL LENGTH OF FLIGHT FROM POINT DIRECTLY ABOVE HIGHEST RISER TO POINT DIRECTLY ABOVE LOWEST RISER. HANDRAIL ENDS SHOULD TERMINATE IN NEWEL POSTS OR SAFETY TERMINAL OR RETURN TO WALL. HANDRAILS SHALL BE ALLOWED TO BE INTERRUPTED BY NEWEL POSTS.  
SIZE: SHALL HAVE OUTSIDE DIAMETER BETWEEN 1-1/4" - 2" IF CIRCULAR. SHALL HAVE BETWEEN 4-6" PERIMETER IF NOT CIRCULAR.

STAIR NOTE:

DEPENDING ON FIELD CONDITIONS, DIMENSIONS MAY VARY BUT MUST COMPLY WITH FLORIDA BUILDING CODES R311.7.5 FOR TREAD DEPTH, RISER HEIGHTS AND STAIR WIDTHS.  
\*RISERS: 7-3/4" MAXIMUM WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN HIGHEST AND LOWEST RISER.  
TREADS: 10" MINIMUM DEPTH WITH NO MORE THAN 3/8" DIFFERENCE BETWEEN LONGEST AND SHORTEST TREAD: THE SUM OF 2 TREADS AND 1 RISER TO BE NOT LESS THAN 24" AND NOT MORE THAN 25".  
\*WIDTH: 36" MINIMUM CLEAR WIDTH ABOVE HANDRAIL AND 31-1/2" BELOW HANDRAIL.

| LEGEND |                                |
|--------|--------------------------------|
| SYMBOL | DESCRIPTION                    |
|        | EXTERIOR 2'x4" WOOD FRAME WALL |
|        | 2'x6" WOOD FRAME WALL          |
|        | FIREWALL                       |

NOTES:  
2X4 EXTERIOR WALL  
16" OVERHANG U.O.N.

Drafting Firm:

Building Authority:

By

Description

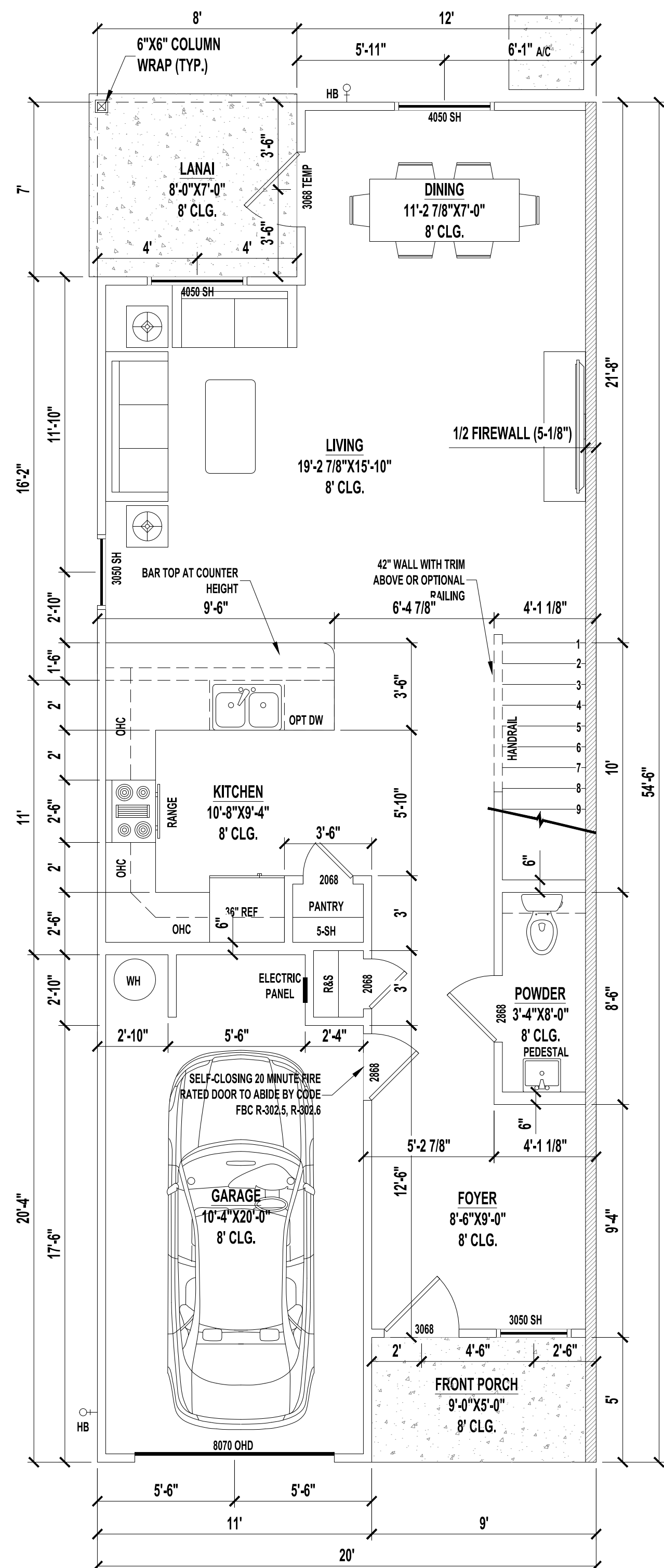
Rev Date

LAKE LENA  
Lake Lena Fr 8plex 2ST 4&3BD  
2.5BA 1G

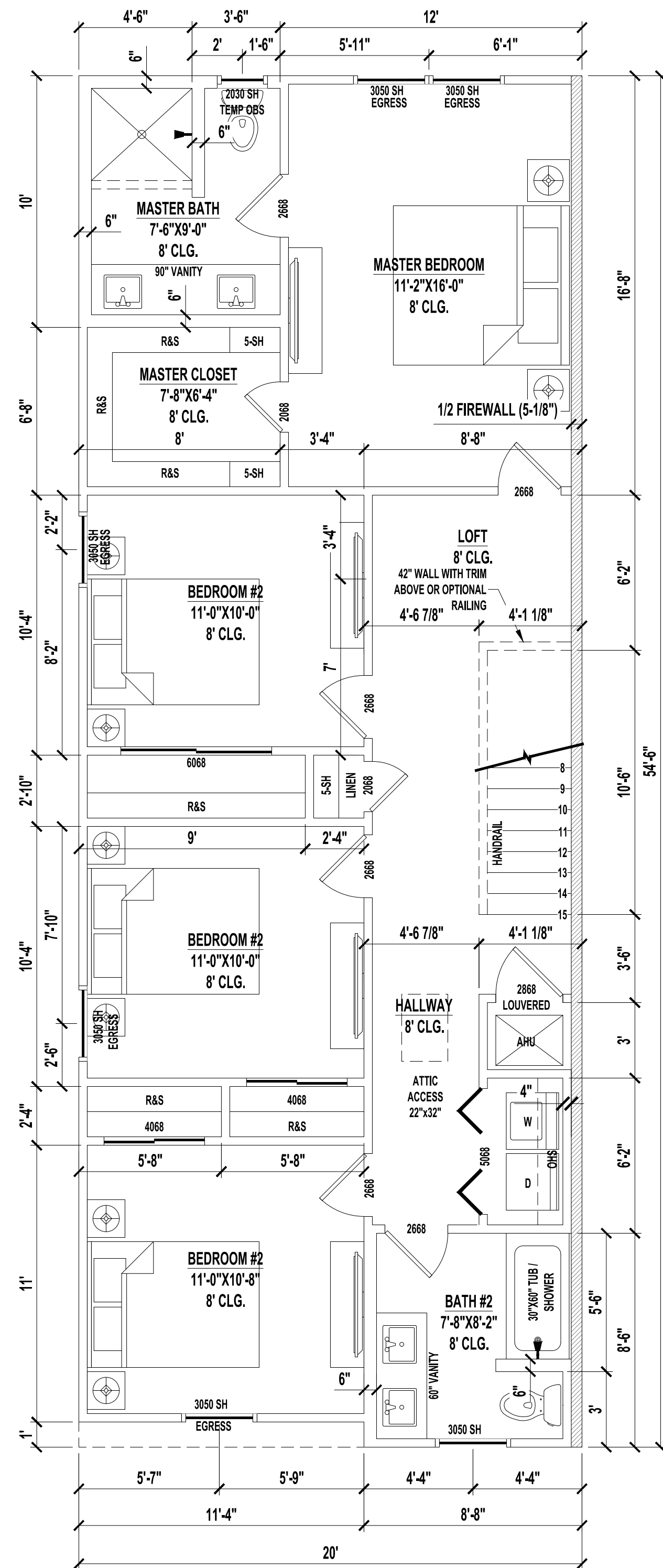
A Project For:  
Southern Impression  
Homes  
10151 Deerwood Park Blvd,  
Building 400, Suite 300,  
Jacksonville, FL 32256

Sheet Description  
A1.2 -  
OVERALL 2ND  
FLOOR 4 Plex  
Drawn by: RKL  
Checked by: CG  
Issued Date: 9/10/25  
Scale (U.N.O.):  
Printed Date: 9/10/25  
Sheet Number  
of

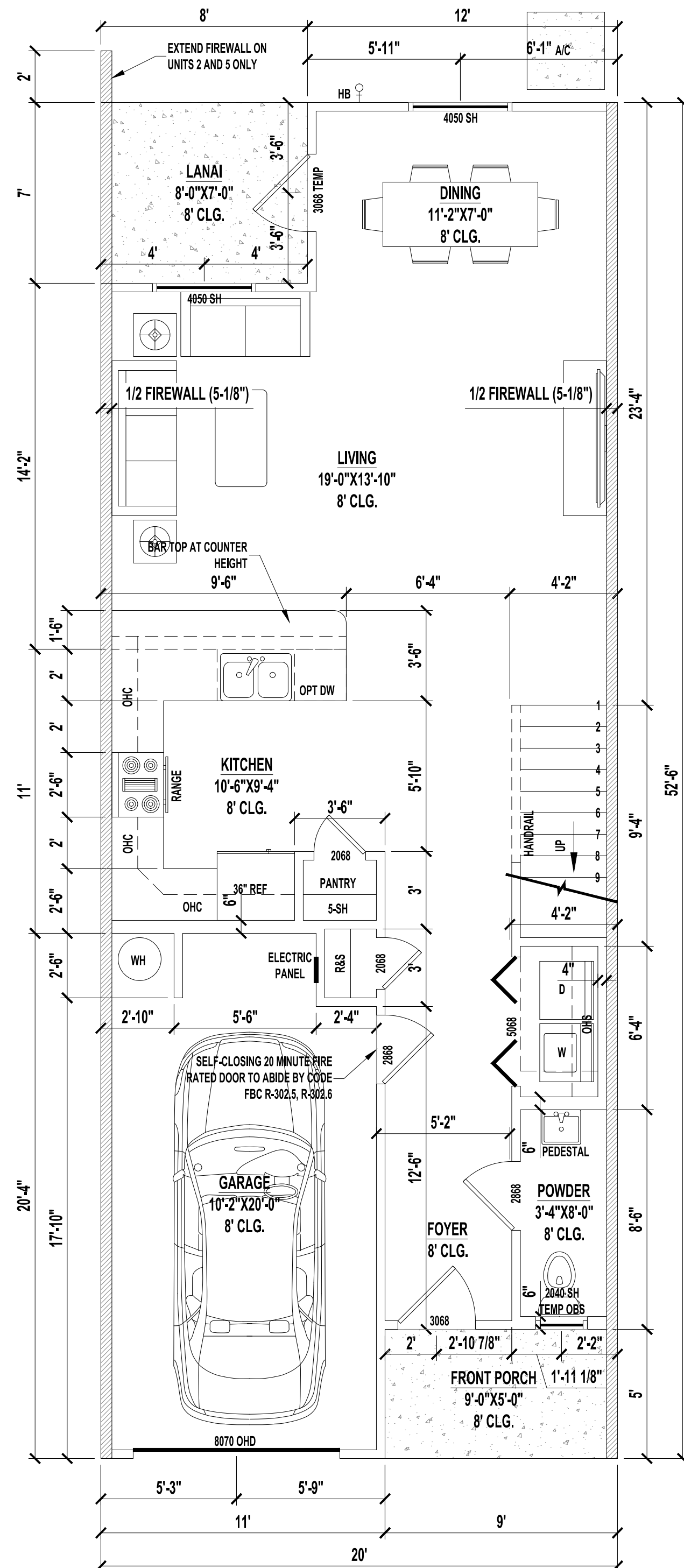




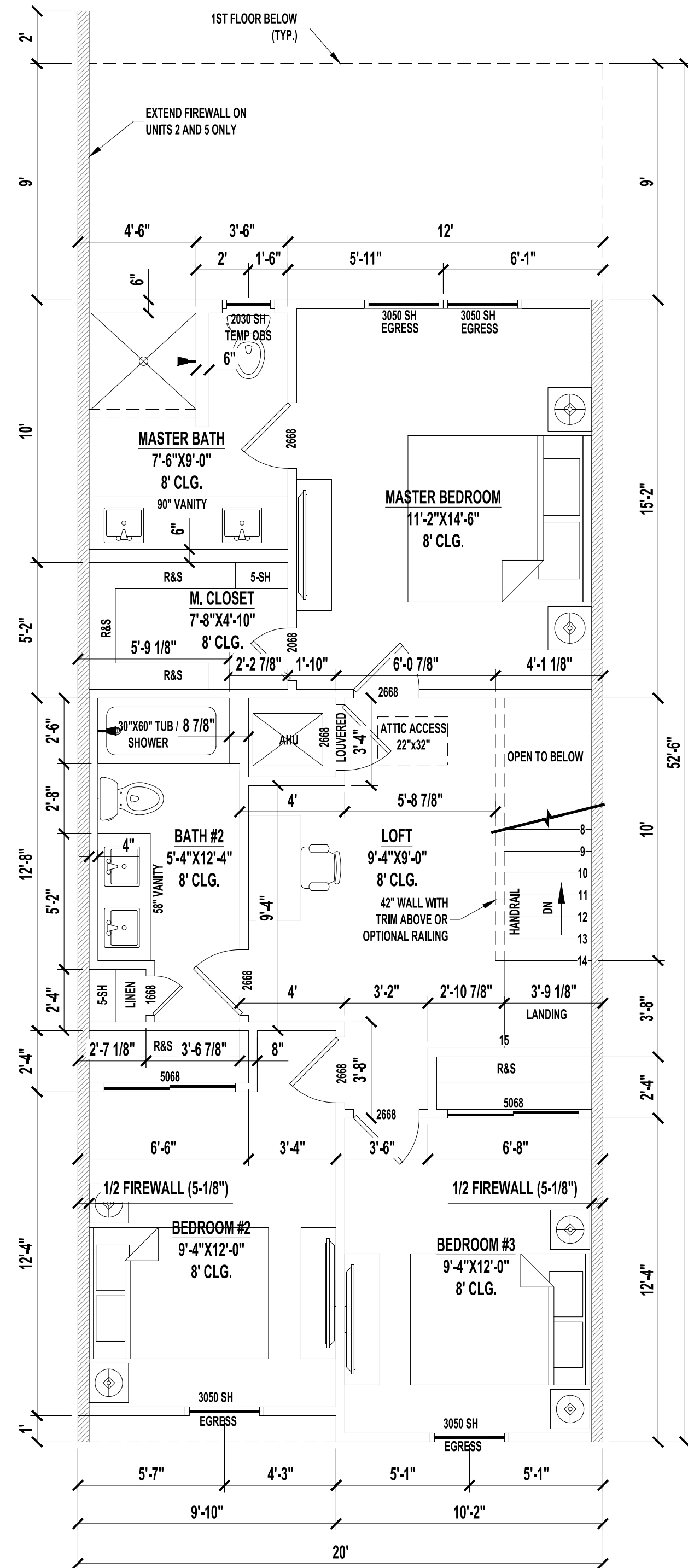
1 1ST FLOOR PLAN | END UNIT  
A1.5 SCALE: 1/4" = 1'-0"



2 2ND FLOOR PLAN | END UNIT  
A1.5 SCALE: 1/4" = 1'-0"



3 1ST FLOOR PLAN | MIDDLE UNIT  
A1.5 SCALE: 1/4" = 1'-0"



4 2ND FLOOR PLAN | MIDDLE UNIT  
A1.5 SCALE: 1/4" = 1'-0"

#### END UNIT AREAS

|                       |          |
|-----------------------|----------|
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|                       |          |
|-----------------------|----------|
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#### NOTES:

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Southern Impression

Homes

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Building 400, Suite 300,  
Jacksonville, FL 32256

Sheet Description

A1.5 - FLOOR  
PLAN

4 Plex

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RKL

Checked by:

CG

Issued Date:

9/10/25

Scale (U.N.O.):

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Date